



AGENDA

Agendas May Be Amended

JOIN TEAMS MEETING:

<https://teams.microsoft.com/meet/21895707430741?p=qkdAVbnX5u3iGlbJ4Q>

MEETING ID: 218 957 074 307 41

PASSCODE: D4NG3Ut2

PLEASE MUTE YOUR CALL: PLEASE TURN OFF ALL CELL PHONES EXCEPT FOR EMERGENCY PERSONNEL.

CALL TO ORDER

ROLL CALL

1. NOTICE OF AGENDA COMPLIANCE (PER IDAHO CODE ***§74-204***): ACTION ITEM

Finding that the regular meeting notice and agenda were posted in accordance with Idaho Code **§74-204** within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, and on the City's website on April 9, 2026. Suggested Motion: Move that the notice for the April 13, 2026, meeting was completed in accordance with Idaho Code, Section §74-204.

2. CALL FOR CONFLICT (AS OUTLINED IN IDAHO CODE ***§74-404***): ACTION ITEM

3. MAYOR AND COUNCIL REPORT

4. PUBLIC COMMENT: FOR ITEMS OF CONCERN **NOT** ON THE AGENDA – (COMMENTS ARE LIMITED TO **3-5 MINUTES**)

5. CONSENT AGENDA: ACTION ITEMS

- Open Meeting Violation Cure Pursuant to Section 74-208(7)
- Approval of Minutes: February 23, 2026, Regular Meeting Minutes: Amy Phelps, City Clerk
- Approval of Claims: March 24 through April 13, 2026: Shelly Shoemaker, Treasurer
- Department Head Reports

6. OLD BUSINESS

- Water Project Update and Final Facility Plan Approval: Chad Hoopes, Merrick and Company, Chris Johnson, Public Works Director | **ACTION ITEM**

7. NEW BUSINESS

- Approval of Resolution No. 26-12 declaring a ban on the use of fireworks within the City limits of Bellevue due to severe fire threat: Carter Bullock, Planner | **ACTION ITEM**
- Approval of Resolution No. 26-11 Confirming the Appointment of Carter Bullock to the Bellevue Parks Committee as a non-voting member: Christina Giordani, Mayor | **ACTION ITEM**
- Consideration of a fee waiver request for a Parks application requesting use of the Park for Villarreal Idaho Soccer requesting to reserve O'Donnel Park from April 20-October 24, 2026: Amy Phelps, City Clerk | **ACTION ITEM**

- d. Approval of an amendment to resolution 26-XX requesting an extension to the revision of the Howard Preserve Management Plan per recommendation from the Parks Committee: Brian Parker, Community Development Director | **ACTION ITEM**

8. **PRESENTATION**

- a. Dark Sky Presentation, and approval of a Proclamation recognizing international dark sky week as April 13-April 20: Kristin Fletcher, Carol Cole, chair of the Dark Sky Alliance | **ACTION ITEM**

9. **PUBLIC HEARING**

- a. **FP-25-02 - Lots 1A, 2A, and 3A, Block 96 Final Plat**

A final plat to reconfigure the existing six (6) parcels into three (3) parcels. The property is zoned B – Business. The preliminary lot line adjustment was approved by the Bellevue Common Council on July 14, 2025: Brian Parker, Community Development Director | **ACTION ITEM**

- b. **TA-25-01 – Text Amendment - CONTINUED FROM FEBRUARY 9, 2026**

A text amendment to Bellevue City Code Titles 10 (Zoning Regulations), 11 (Subdivision Regulations), and 12 (Flood Damage Prevention Ordinance) to improve clarity, correct errors, and increase enforceability: Brian Parker, Community Development Director | **ACTION ITEM**

10. **ADJOURNMENT: ACTION ITEM**

❖ *If you would like to submit written comment on a public hearing agenda item: Submit your comments to aphelps@bellevueidaho.us (by noon the day of the meeting)*



AGENDA

Las agendas pueden ser modificadas

ÚNETE A LA REUNIÓN DE EQUIPOS:

<https://teams.microsoft.com/meet/21895707430741?p=qkdAVbnX5u3iGlbJ4Q>

ID DE LA REUNIÓN: 218 957 074 307 41

CÓDIGO DE ENTRADA: D4NG3Ut2

POR FAVOR, SILENCIE SU Llamada: POR FAVOR, APAGUE TODOS LOS TELÉFONOS MÓVILES EXCEPTO EL PERSONAL DE EMERGENCIA.

LLAMADA AL ORDEN

LISTA DE LISTA

1. **AVISO DE CUMPLIMIENTO DE LA AGENDA (SEGÚN EL CÓDIGO DE IDAHO §74-204): PUNTO DE ACCIÓN**
*Se determinó que el aviso y la agenda de la reunión ordinaria se publicaron conforme al Código de Idaho §74-204 en un plazo de cuarenta y ocho (48) horas previas a la reunión en: el Ayuntamiento de Bellevue, la Oficina de Correos y la página web de la ciudad el 9 de abril de 2026. **Moción sugerida: Propone que el aviso para la reunión del 13 de abril DE 2026 se haya completado conforme al Código de Idaho, Sección §74-204.)***
2. **LLAMAMIENTO AL CONFLICTO (SEGÚN LO ESTABLECIDO EN EL CÓDIGO DE IDAHO §74-404): PUNTO DE ACCIÓN**
3. **INFORME DEL ALCALDE Y DEL CONSEJO**
4. **COMENTARIOS públicos: PARA ASUNTOS DE INTERÉS QUE NO ESTÁN EN LA AGENDA – (LOS COMENTARIOS ESTÁN LIMITADOS A 3-5 MINUTOS)**
5. **ORDEN DEL DÍA DE CONSENTIMIENTO: PUNTOS DE ACCIÓN**
 - a. Solución de la violación en reuniones abiertas conforme a la Sección 74-208(7)
 - b. Aprobación de las actas: 23 de febrero de 2026, Actas de la reunión ordinaria: Amy Phelps, secretaria municipal
 - c. Aprobación de reclamaciones: del 24 de marzo al 13 de abril de 2026: Shelly Shoemaker, Tesorera
 - d. Informes de Jefes de Departamento
6. **ASUNTOS ANTIGUOS**
 - a. Actualización del proyecto de agua y aprobación final del plan de la instalación: Chad Hoopes, Merrick and Company, Chris Johnson, Director de Obras Públicas | **ÍTEM DE ACCIÓN**
7. **NUEVOS NEGOCIOS**
 - a. Aprobación de la Resolución nº 26-12 que declara la prohibición del uso de fuegos artificiales dentro de los límites de la ciudad de Bellevue debido a grave amenaza de incendio: Carter Bullock, planificador | **ÍTEM DE ACCIÓN**
 - b. Aprobación de la Resolución nº 26-11 que confirma el nombramiento de Carter Bullock para el Comité de Parques de Bellevue como miembro sin derecho a voto: Christina Giordani, alcaldesa | **PUNTO DE ACCIÓN**

- c. Consideración de una solicitud de exención de tasas para una solicitud de Parques solicitando el uso del Parque para el fútbol de Villarreal, Idaho, solicitando reservar el Parque O'Donnell del 20 de abril al 24 de octubre de 2026: Amy Phelps, Secretaria Municipal | **ÍTEM DE ACCIÓN**
- d. Aprobación de una enmienda a la resolución 26-XX solicitando una prórroga de la revisión del Plan de Gestión de la Reserva Howard por recomendación del Comité de Parques: Brian Parker, Director de Desarrollo Comunitario | **PUNTO DE ACCIÓN**

8. **PRESENTACIÓN**

- a. Presentación del cielo oscuro y aprobación de una proclamación que reconoce la semana internacional del cielo oscuro del 13 al 20 de abril: Kristin Fletcher, Carol Cole, presidenta de la Dark Sky Alliance | **PUNTO DE ACCIÓN**

9. **AUDIENCIA PÚBLICA**

- a. **FP-25-02 - Lotes 1A, 2A y 3A, Bloque 96 Parcela Final**
Un plano final para reconfigurar las seis (6) parcelas existentes en tres (3) parcelas. La propiedad está clasificada como B – Negocios. El ajuste preliminar de la línea del lote fue aprobado por el Ayuntamiento de Bellevue el 14 de julio de 2025: Brian Parker, Director de Desarrollo Comunitario | **ACCIÓN**
- b. **TA-25-01 – Enmienda al texto - CONTINUADO DESDE EL 9 DE FEBRERO DE 2026**
Una enmienda textual a los Títulos 10 (Regulaciones de Zonificación), 11 (Regulaciones de Subdivisión) y 12 (Ordenanza de Prevención de Daños por Inundación) del Código de la Ciudad de Bellevue para mejorar la claridad, corregir errores y aumentar la exigibilidad: Brian Parker, Director de Desarrollo Comunitario | **ÍTEM DE ACCIÓN**

10. **APLAZAMIENTO: PUNTO DE ACCIÓN**

- ❖ *Si desea enviar un comentario escrito sobre un punto del orden del día de una audiencia pública: Envíe sus comentarios a aphelps@bellevueidaho.us (antes del mediodía del día de la reunión)*



Memorandum

To: Mayor Giordani and Bellevue Common Council

From: Amy Phelps, City Clerk

Re: Consent Agenda

Date: April 13, 2026

The consent agenda allows the Council to approve routine items in one motion to save time and streamline meetings. Typical items include approval of minutes, bills, and standard reports. Any council member may request that an item be removed from the consent agenda for separate discussion before the vote.

Suggested Motion

Move to approve the Consent Agenda as: *amended, corrected, or as presented.*

Enclosures

- a. Open Meeting Violation Cure materials
- b. Meeting minutes February 23, 2026 Meeting Minutes
- c. Claims Payable Report: March 24, Through April 13, 2026
- d. Department Head Reports



Memorandum

To: Bellevue Common Council

From: Amy Phelps, City Clerk

Re: Open Meeting Violation Cure Pursuant to Section 74-208(7)

Date: April 13, 2026

This agenda item is included to address and fully cure an open meeting law violation pursuant to Idaho Code Section 74-208(7).

Background:

Councilmember Suzanne Wrede sent an email to the Mayor and all members of the Bellevue Common Council (a quorum) the morning following a council meeting held on March 23rd.

The Blaine County Prosecuting Attorney, Matthew Fredback, reviewed this matter and determined that a violation of the open meeting law occurred. In his attached written findings, he advised that, in order to fully cure the violation, the City should make Councilmember Wrede's email part of the official public record, thereby bringing the communication into the open.

In accordance with this guidance, the purpose of this agenda item is to formally disclose and incorporate the email into the public record. Once this step is completed, no further action is required by the City to cure the violation, as provided under Idaho Code Section 74-208(7).

Enclosures

- a. Council Member Suzanne Wrede's email from March 24th
- b. Letter from Matthew Fredback, Blaine County Prosecutor

From: Suzanne Wrede <swrede@bellevueidaho.us>

Sent: Tuesday, March 24, 2026 8:32 AM

To: Christina Giordani <cgiordani@bellevueidaho.us>; Diane Shay <dshay@bellevueidaho.us>; Anders Ard <aard@bellevueidaho.us>; Tom Bergin <tbergin@bellevueidaho.us>; Jessica Obenauf <jobenauf@bellevueidaho.us>; Tammy Davis <tdavis@bellevueidaho.us>

Subject: Water Project Documentation Follow-Up

Hi all -

Couple of requests for this interval between meetings. First, in the DEQ email that was provided to city council as proof that DEQ had assigned City Council legal authority, all the context of the email is missing. Council should have access to the entire email chain as a public document (which it is.) I request that this entire email chain be shared with city council as soon as possible. As I hope I made clear last night, DEQ does not have the authority to establish the legal authority for a bond so the entire context of this email is essential. DEQ is helping Bellevue prepare for funding and both state and federal funding laws require that legal authority be validated, but DEQ absolutely does not have the power to determine that - only the requirement to validate it - and the City's claims that DEQ has given them that authority raises issues for the Attorney General.

The DEQ email provided does NOT support the mayor's claims last night that DEQ granted the City total legal authority and it can simply write a letter without City Council knowledge or approval. So we need to see the DEQ documentation that supports the City's/Mayor's statements on that. And we should see the entire email, not just the selected parts.

Second, thank you to Diane for requesting bond counsel be solicited. But we need a written legal opinion from bond counsel, not an informal dialogue. The need is for bond counsel to submit their legal opinions in writing and for city council to have that legal opinion well in advance of the next meeting for review. Since bond counsel has already reviewed this situation and given a determination to Merrick - and why Merrick would be the ones speaking to our bond counsel, I don't know - it should be very inexpensive for them to put that legal opinion on paper. With their opinion already established, shared and used as points of fact in discussions last night, it is less expensive than having them come to the

meeting - and far more valuable both for the opportunity for council to review the findings and as documentation that the City has properly followed the law. A failure to support and document the City's legal position is unacceptable.

Attached is the part of the email from Ms. Faretra that was distributed and cited last night as the predicate for establishing the City as the legal authority for the bond. It doesn't not grant legal authority to the City as claimed last night. And it is unclear if it grants legal authority to the City Council - we need to see the entire email because, in truth, we don't know the definition of "such plans." The City Council and residents need to see the basis for the mayor's claims that the DEQ granted the City unilateral power, without even the need for City Council, to approve the bond changes and confirm that last night's documentation establishes that DEQ has given the City Council legal authority.

This project is hugely flawed but it doesn't mean it isn't valuable or needed. It does mean that it needs to be cleaned up and that starts with facts, process, transparency and proper leadership.

And for Tammy, who wants to believe without question - enjoy:

<https://www.politico.com/news/magazine/2023/05/12/dixon-illinois-city-fraud-betrayal-00075869>

Let's do our jobs.

Thank you,

Suzanne

MATTHEW FREDBACK
Prosecuting Attorney

STATE of IDAHO

COURTHOUSE ANNEX BUILDING
219 SOUTH 1ST AVENUE
SUITE 201
HAILEY, IDAHO 83333



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Chief Deputy Prosecuting Attorney

TEL (208) 788-5545
FAX (208) 788-5554
EMAIL mfredback@co.blaine.id.us

BLAINE COUNTY PROSECUTING ATTORNEY

April 6th, 2026

Frederick Allington
101 E. Bullion St., Unit 2H
Hailey, ID 83333

RE: Idaho Open Meeting Law Complaint

Dear Mr. Allington,

You referred a possible violation of the Open Meeting Law to my office for review. I have reviewed the materials provided as well as the law in question and offer the following response.

Your referral concerns an email sent by Councilwoman Suzanne Wrede after a meeting of the Bellevue City Council. This email was sent to the Mayor and six of Wrede's fellow Council members, demanding additional information and expounding upon issues raised in the meeting from the night before. The email includes no disclaimer warning councilmembers to avoid responding or deliberating within the email chain, and instead appears to invite a response or responses from its recipients. Mayor Giordani replied to everyone in the email, warning the recipients against responding as doing so would result in a violation of the Open Meeting Law.

Relevant statutes I have reviewed include the following,

Idaho Code Section 74-201 states in part that "it is the policy of this state that the formation of public policy is public business and shall not be conducted in secret."

Idaho Code Section 74-203(1) provides that “all meetings of a governing body of a public agency shall be open to the public and ... [n]o decision at a meeting of a governing body of a public agency shall be made by secret ballot.”

Idaho Code Section 74-202(1): “Decision” means “any determination, action, vote or final disposition upon a motion, proposal, resolution, order, ordinance or measure on which a vote of a governing body is required, at any meeting at which a quorum is present.”

Idaho Code Section 74-202(2): “Deliberation” means “the receipt or exchange of information or opinion relating to a decision, but shall not include informal or impromptu discussions of a general nature that do not specifically relate to a matter then pending before the public agency for decision.”

Idaho Code Section 74-202(6) “Meeting” means “the convening of a governing body of a public agency to make a decision or to deliberate toward a decision on any matter.”

Clearly, Wrede’s email, addressed and sent to the Mayor and Council, demands certain action and information from the Mayor and Council, expounds upon issues raised in the meeting from the night before, and urges a particular result on a matter that is pending before the Council. Since the email was sent to a quorum of the City Council, a “meeting” occurred, or was at least intended, and its contents were certainly “received” by the Council as deliberation regarding a matter that will eventually require a decision. Accordingly, it is my opinion that Wrede’s email was in violation of the Open Meeting Law.

While there is some support for the proposition that certain “one-way” communications are permissible under the Open Meeting Law,¹ this instance can be distinguished by (1) the lack of a disclaimer or warning in Wrede’s email advising recipients to not reply and (2) the electronic presence of a quorum of the governing body. Further, the content of the email was more than the distribution of information; it concerned the formation of public policy and therefore is public business. Under these circumstances, Wrede’s email can be viewed as intending to gather a meeting of the City Council that intended to deliberate towards a final decision.

For the foregoing reasons, I intend to notify Ms. Wrede of this violation but do not find that the assessment of a civil penalty is warranted. As for the City of Bellevue, the Mayor responded

¹ With regard to these types of communications, the Attorney General’s Open Meeting Manual explains that “[a] one-way e-mail or text communication from one city council member to another, when it does not result in the exchange of council members’ comments or responses on subjects requiring council action, does not constitute a meeting subject to the Open Meeting Law.” Attorney General Open Meeting Law Manual at p. 16.

directly to the email's recipients, admonishing them to avoid responding, as doing so would violate the Open Meeting Law. This action partially "cured" any actual or potential violation because it prevented any responses. To fully cure this violation, however, the City should make Ms. Wrede's email part of the official record in order to bring it out into the open. Once the email is made public, no further action is required on Bellevue's part. *See* I.C. Section 74-208(7).

Sincerely,

A handwritten signature in blue ink, appearing to read "Matthew Fredback", with a stylized flourish at the end.

Matthew Fredback

Blaine County Prosecuting Attorney



The Common Council of the City of Bellevue, Idaho met at a regularly scheduled Meeting on Monday, March 9, 2026, at 5:30 p.m. in the Council Chambers of the City of Bellevue Offices, located at 115 E. Pine Street, Bellevue, ID 83313.

Call to Order: Mayor Giordani called the Regular Meeting to order at 5:35 p.m. (00:09:52 in video)

Roll Call:

Christina Giordani, Mayor – Present
Diane Shay, Council President – Present
Tammy E. Davis, Council Member – Excused
Suzanne Wrede, Council Member – Present
Shaun Mahoney, Council Member – Present
Tom Bergin, Council Member – Excused
Jessica Obenauf, Council Member – Present

Staff Present:

Amy Phelps, City Clerk
Brian Parker, Community Development Director
Carter Bullock, Planner
Shelly Shoemaker, Treasurer
Greg Beaver, Fire Chief
Rick Allington, Legal Counsel
Kristin Gearhart, Library Director
Mike Shelamer, Marshal's Office

1. Notice of Agenda Compliance: (00:10:45 in video)

The posting of this regular meeting agenda complied with Idaho Code §74-204. The Regular meeting agenda was posted within forty-eight (48) hours prior to the meeting at the Bellevue City Hall, Post Office, and on the City website on *March 5, 2026*.

Motion: Council President Shay moved that the agenda notice was in compliance with Idaho Code §74-204. Council Member Wrede seconded, and the motion passed unanimously.

2. CALL FOR CONFLICT (AS OUTLINED IN IDAHO CODE §74-404): ACTION ITEM

No conflict was noted at this time.

Motion: Council President Shay moved to amend the agenda by moving the Wastewater update to be presented at this time. Council Member Wrede seconded, and the motion passed unanimously.

8. PROJECT UPDATES

a. Wastewater Project Update: Great West Engineering

Kristina Gillespie-Jaques and Levi Howell of Great West Engineering presented an update on the City's wastewater treatment plant project. Ms. Gillespie-Jaques informed the Council that Andrew Kimmell is no longer with Great West Engineering and that Mr. Howell will be assuming the role of lead engineer for the City. She noted that Mr. Howell has been working on the project for approximately a year and a half and is familiar with the system and ongoing efforts.

Mr. Howell provided a status update on current and upcoming work. He reported that repairs to the headworks channel have been completed and are functioning as intended. He stated that replacement membranes for the membrane bioreactor system have been ordered and are expected to arrive soon, potentially ahead of schedule, although installation timing will depend on delivery. Mr. Howell explained that several planned improvements, including rapid infiltration bed modifications, testing, dredging, and lagoon lining, are currently on hold until the membrane replacement is completed. He noted that sequencing of this work is necessary to maintain regulatory compliance, as the system must remain operational while components are taken offline for testing and repair. He further indicated that additional projects, including headworks screen and grit removal and sludge dewatering improvements, are also on hold while the City prioritizes actions needed to return the facility to compliance.

Council Member Wrede inquired how the current work and identified improvements align with previously approved contracts, including a prior contract in the amount of approximately \$50,000 and a subsequent contract in the amount of approximately \$15,000. She expressed concern regarding how the scope of work had evolved and how previously discussed items are now being addressed.

Mr. Howell responded that there are multiple contracts with Great West Engineering serving different purposes. She explained that one contract was for general planning services not directly related to the wastewater project, another contract in the amount of approximately \$50,000 was for a comprehensive evaluation of the wastewater treatment system conducted with Tetra Tech as a subconsultant, and a third contract in the amount of approximately \$15,000 was intended to provide assistance to City staff with the Wastewater Project. He stated that the smaller contract was used to help staff manage project coordination and track progress during a period of increased workload and has since been fulfilled.

Kristina Gillespie-Jaques provided an update on potential funding for the wastewater project through the Idaho Department of Environmental Quality (DEQ). She explained that in January, the City submitted a letter of interest seeking funding for necessary system improvements. DEQ staff are currently reviewing and ranking all submissions from across the state, with a ranked list expected to be published in April as part of the agency's Intended Use Plan.

She stated that once the list is released, a 30-day public comment period will follow. During that time, the City and its consultants will review the ranking and submit comments as appropriate, whether in support of a favorable ranking or in response to any deficiencies noted by DEQ. After the comment

period, DEQ may adjust rankings based on feedback received before finalizing a list of projects deemed eligible for funding.

Ms. Gillespie-Jaques further explained that the final recommendations will be presented to the DEQ Board at a public meeting, where the Board typically considers staff recommendations before approving a final fundable list. Communities included on that list will then receive formal invitations to proceed with securing funding.

In response to a question from Council Member Wrede regarding whether issues with the City's drinking water project or prior funding conditions could impact this request, Ms. Gillespie-Jaques clarified that the wastewater and drinking water programs are evaluated separately. She noted that the City's current wastewater system challenges may positively influence its ranking based on demonstrated need.

3. MAYOR AND COUNCIL REPORT (00:23: 01 in video)

Mayor Giordani made note of a City of Bellevue Town Hall scheduled for March 30th at 5:30 regarding (Local Option Tax) LOT, public safety and how the city can provide services to the community.

Council Member Wrede stated that, based on ongoing discussions regarding public safety and recent changes in the City's relationship with the Sheriff's Office, she no longer supports the FLOCK camera system. She encouraged the Council to revisit the decision, noting concerns about cost, reported misuse of such systems nationwide, and the increasing availability of similar camera coverage through the County. She suggested that improved coordination with the Sheriff's Office may provide sufficient access to needed information without additional City expenditure.

Mayor Giordani acknowledged the concerns, and also noted that she has heard similar concerns expressed by members of the community.

Council Member Wrede additionally requested that staff prepare and present standard second-quarter year-to-date financial statements at the next meeting, in accordance with Idaho Code requirements and the Idaho uniform accounting and reporting manual. She specified inclusion of the statement of net position, statement of activities, and accompanying notes. Mayor Giordani asked that the request be sent via email for follow-up, to which Council Member Wrede agreed.

Council Member Obenauf mentioned that since she wouldn't be able to help with the ERC Clean Sweep on May 2nd this year she hoped someone else on Council would be able to help collaborate and support the ERC-run event. Mayor Giordani mentioned they could connect with Kritin

4. PUBLIC COMMENT: FOR ITEMS OF CONCERN NOT ON THE AGENDA – (COMMENTS ARE LIMITED TO 3-5 MINUTES)

5. PRESENTATION

- b. Law Enforcement Foundation Overview: Sheriff Morgan Ballas
- c. Drinking Water Project Update: Chad Hoopes, Merrick and Company, Cassandra Lemmons, IDEQ (00:34:03 in Video)

Motion: Council President Shay moved to amend the agenda to add an action item regarding the proposed Big Wood River Library District, due to statutory timelines under Idaho Code § 33-2704(4). Council Member Bergin seconded. Council Members Voting Aye: Council Member Obenauf, Council Member Bergin, Council President Shay, Council Member Ard, Council Member Davis. Council Members Voting No: Council Member Wrede. **The Motion Passed.**

6. CONSENT AGENDA: ACTION ITEMS

- a. Approval of Minutes: November 10, 2025, Regular Meeting Minutes: Amy Phelps, City Clerk
- b. Approval of Claims: January 27, 2026, through February 9, 2026: Shelly Shoemaker, Treasurer
- c. Department Head Reports

Motion: (01:11:47 in Video) Council President Shay moved to approve the consent agenda. Council Member Obenauf seconded. Council Members Voting Aye: Council Member Obenauf, Council Member Bergin, Council Member Shay, Council Member Ard, Council Member Davis, Council Member Wrede. Council Members Voting No: None. **The Motion Passed.**

7. PUBLIC HEARING

d. TA-25-01 – Text Amendment

A text amendment to Bellevue City Code Titles 10 (Zoning Regulations), 11 (Subdivision Regulations), and 12 (Flood Damage Prevention Ordinance) to improve clarity, correct errors, and increase enforceability: Brian Parker, Community Development Director | **ACTION ITEM**

Motion: (01:59:35 in Video) Council President Shay moved to table this public hearing. Council Member Obenauf seconded. Council Members Voting Aye: Council Member Obenauf, Council Member Bergin, Council Member Shay, Council Member Ard, Council Member Davis, Council Member Wrede. Council Members Voting No: none. **The Motion Passed.**

8. NEW BUSINESS

- a. Approval of Resolution No. 26-05 Authorizing the Mayor to Execute a Professional Services Agreement with Herbert Romero for Comp Plan Outreach: Brian Parker | **ACTION ITEM**

Brian Parker, Community Development Director, explained that the city received a \$25,000 grant from the Blue Cross Foundation for a community project. One goal of the grant is to increase outreach, particularly to Spanish-speaking communities. To support this, the city is proposing a professional services agreement to hire a coordinator to help assess and connect these communities with resources, improving engagement and inclusivity as part of the comprehensive plan.

Council Member Wrede asked which other demographics were hard to reach. Mr. Parker said the Hispanic community has been the most difficult, and Carter Bullock, Planner, added that young people are also hard to reach. Despite translating surveys into Spanish and posting flyers at local Hispanic businesses, they explained they received no Spanish-language responses. Council Member Wrede noted that many community members are bilingual. Mr. Parker said seniors and families generally provide better response rates and explained demographic data hasn't been collected consistently to keep surveys short and encourage participation, though one recent survey included age and showed more senior participation, with middle-aged and younger residents tapering off. Outreach events, like

school pick-ups and Trunk or Treat, have helped gather broader feedback. Council Member Obenauf noted Atkinson's in Bellevue is a central hub for diverse participation. Mayor Giordani emphasized that in-person engagement, particularly through trusted community members like Herbert Romero, has been the most effective for reaching Spanish-speaking residents, as well as incentivizing younger participants with events like pizza at the library has helped. Council Member Wrede asked how residency is verified; Bullock explained surveys ask where respondents live and work, but input from non-residents is still considered valuable. Council Member Davis highlighted that Herbert Romero supports outreach and is a trusted community member, emphasizing his ability to go into neighborhoods and engage residents directly.

Motion: (02:14:47 in Video) **Council Member Obenaur** moved to approve resolution No. 26-03 to enter into a Professional Services Agreement with SAFEbuilt, LLC for On-Call Building Official Services. **Council President Shay** seconded. Council Members Voting Aye: Council Member Obenauf, Council Member Bergin, Council President Shay, Council Member Ard, Council Member Wrede. Council Members Voting No: none. **The Motion Passed.**

- b. Approval of Resolution No. 26-06 supporting the submittal of a Rebuilding American Infrastructure with Sustainability and Equity Grant Application for Engineering Design services for Collector Roadways: Brian Parker, Community Development Director | **ACTION ITEM**

Brian Parker clarified that the grant under discussion is the BUILD Grant, not the previously mentioned RAISE Grant, noting that the name changed between this year and last. He explained that the City applied for the grant last year but was unsuccessful because the application didn't meet the threshold. One recommendation from that review was to collaborate with Blaine County, Hailey, and other jurisdictions to improve the collaboration score. This year, they are submitting essentially the same proposal, but in a joint format, which should increase the likelihood of success. The resolution before the Council is to approve Bellevue's portion of this joint grant application, specifically for design and engineering services for infrastructure collections.

Motion: (01:55:51 in Video) **Council Member Davis** moved to approve resolution No. 26-06 supporting the submittal of a BUILD Grant Application for Engineering Design services for Collector Roadways. **Council President Shay** seconded. Council Members Voting Aye: Council Member Obenauf, Council Member Bergin, Council President Shay, Council Member Ard. Council Members Voting No: Council Member Wrede. **The Motion Passed.**

- c. A request to provide a financial security Bond for unfinished landscaping associated with the approved Design Review Application for Karl Malone Ford and Power Sports Store: Brian Parker, Community Development Director | **ACTION ITEM**

Brian Parker explained that this item concerns a request for a financial security bond to cover unfinished landscaping for the Karl Malone Ford and Power Sports store. The design review was originally approved on July 5, 2023, with building permits issued in 2024 and a temporary certificate of occupancy issued November 4, 2025. At that time, four items remained outstanding. All but the landscaping have been completed. The remaining landscaping involves hydroseeding the perimeter and snow storage area. Mr. Parker recommended the Council approve with a completion deadline of

July 1, 2026 explaining the bond will be released once the modified landscaping plan, including fencing and trees, or the original landscaping plan is fully completed.

Council President Shay asked whether the \$16,444 hydroseeding estimate had been verified. Brian Parker said it came from the applicant's licensed landscaping contractor but had not been independently verified by the city. Mr. Parker noted that city code makes the owner liable for any costs exceeding the bond. Council President Shay asked if the unfinished landscaping would block vehicle access used by mechanics for test driving, and Parker indicated it would not, and that any ongoing access issues would need to be addressed separately.

Council Member Wrede emphasized the significant impact the project had on neighboring residents, noting they had to push for compliance with lighting and other code requirements, and argued that the work should be fully completed before final certification is issued. Council President Shay acknowledged improvements to lighting had been made, such as directed wall lighting and films on parking lot poles to reduce light trespass, but clarified these were separate from the landscaping bond.

Other council members, including Shay and Bergin, noted that bonds are a standard tool, especially given the seasonal limitations on planting and landscaping. There was discussion clarifying that holding the bond is not punitive but a mechanism to ensure compliance with agreed-upon improvements. Council Member Wrede clarified she was concerned about prior behavior being used to influence the city's decision.

There was also discussion about lighting compliance, noting that while city staff approved the plan, county codes may still apply. The main point emphasized was that the bond ensures funds are available to complete landscaping by the July 1, 2026 deadline, and the city can use the funds if the work is not completed to secure final compliance.

Motion: (02:31:58 in Video) **Council President Shay** moved to approve the acceptance of the Irrevocable Escrow Bond for KHAM Real Estate IDBEL, LLC for unfinished landscaping in the total amount of \$24,666, with an expiration date of July 1, 2026. The Irrevocable Escrow Bond should not be released until the perimeter hydroseeding is completed and either:

1. The construction of fencing, installation of trees, and all other added improvements identified on the November 20, 2025 revised landscape plan, or
2. Completion of the improvements of the original landscape plan and clearing of the snow storage area.

Council Member Obenauf seconded. Council Members Voting Aye: Council Member Obenauf, Council Member Bergin, Council President Shay, Council Member Ard. Council Members Voting No: Council Member Wrede. **The Motion Passed.**

9. ADJOURNMENT: Action Item

With no further business coming before the Common Council at this time, Council Member Davis moved to adjourn the meeting. Council Member Wrede seconded the motion. The meeting adjourned at 08:00 p.m. The motion passed unanimously.

Christina Giordani, Mayor

Attest:

Amy Phelps, City Clerk

City of Bellevue
Hosted Live 3.11.2025

Invoice Register - Claims by Dept
Input Dates: 3/24/2026 - 4/13/2026

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Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Valley Wide Cooperative	A41543	1	Invoice	Fuel - Card #3816393	03/30/2026	78.66	100-05-51110	Fuel
Valley Wide Cooperative	A74999	1	Invoice	Fuel - Card #3816395	04/07/2026	15.17	100-05-51110	Fuel
DL Evans - Fire Dept.	3087-04	1	Invoice	Amazon - Hitch Pins	03/22/2026	48.71	100-05-52080	Small Tools & Equipment
First Net	2872946568	5	Invoice	Fire Chief	03/20/2026	50.85	100-05-52100	Telephone
DL Evans - Fire Dept.	3087-04	2	Invoice	Coaxsher - Wildland Clothing	03/22/2026	539.90	100-05-57000	Safety Equipment
DL Evans - Fire Dept.	3087-04	3	Invoice	Scheels - Safety Equipment	03/22/2026	471.70	100-05-57000	Safety Equipment
Total 100-05:						1,284.99		
100-07								
Idaho Indep. Intergov. Authority	2886	3	Invoice	Library Health Insur	03/20/2026	884.00	100-07-50011	Insurance - Health
DL Evans - Library	4580-04	1	Invoice	Enotes.com	03/22/2026	54.11	100-07-51080	Dues & Memberships
First Net	2872946568	6	Invoice	Library	03/20/2026	45.80	100-07-52100	Telephone
DL Evans - Library	4580-04	2	Invoice	NY Times	03/22/2026	4.00	100-07-55000	Library New Books
Sun Valley Senior Support	INV-2001	1	Invoice	Tech Corner - Feb. & March	04/02/2026	200.00	100-07-55010	Library Programs
Total 100-07:						1,187.91		
100-08								
Idaho Indep. Intergov. Authority	2886	4	Invoice	Marshal Health Insur	03/20/2026	4,466.00	100-08-50011	Insurance - Health
Christensen Inc. dba United Oil	CL08810	1	Invoice	Fuel - Card #263953/Gaston	03/15/2026	64.04	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL08810	2	Invoice	Fuel - Card #263954/Shelamer	03/15/2026	155.17	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL08810	3	Invoice	Fuel - Card #263955/Thayer	03/15/2026	183.70	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL08810	4	Invoice	Fuel - Card #6857653/Marin	03/15/2026	192.84	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL109672	1	Invoice	Fuel - Card #263953/Gaston	03/31/2026	467.10	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL109672	2	Invoice	Fuel - Card #263955/Thayer	03/31/2026	256.14	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL109672	3	Invoice	Fuel - Card #6857653/Marin	03/31/2026	186.18	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL09672	1	Invoice	Fuel - Card #263953/Gaston	03/31/2026	467.10	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL09672	2	Invoice	Fuel - Card #263955/Thayer	03/31/2026	256.14	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL09672	3	Invoice	Fuel - Card #6857653/Marin	03/31/2026	186.18	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL109672	4	Adjustmen	Fuel - Card #263953/Gaston	03/31/2026	467.10	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL109672	5	Adjustmen	Fuel - Card #263955/Thayer	03/31/2026	256.14	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL109672	6	Adjustmen	Fuel - Card #6857653/Marin	03/31/2026	186.18	100-08-51110	Fuel
First Net	2872946568	7	Invoice	Deputy Marshal	03/20/2026	45.80	100-08-52100	Telephone
First Net	2872946568	8	Invoice	Laptop 1 - 208-309-3737	03/20/2026	40.57	100-08-52100	Telephone
First Net	2872946568	9	Invoice	Laptop 2 - 208-309-8879	03/20/2026	40.57	100-08-52100	Telephone
First Net	2872946568	10	Invoice	Laptop 3 - 208-309-8878	03/20/2026	40.57	100-08-52100	Telephone
First Net	2872946568	11	Invoice	Laptop 5 - 208-309-8876	03/20/2026	40.57	100-08-52100	Telephone
First Net	2872946568	12	Invoice	City of Bellevue FN - 208-309-8877	03/20/2026	40.57	100-08-52100	Telephone
Modern Marketing	MMI168080	1	Invoice	Star shaped stickers	03/30/2026	998.00	100-08-56050	Specialized Equipment
Shelamer, Michael	113837279	1	Invoice	Reimbursement - RC Willey	03/21/2026	239.55	100-08-56050	Specialized Equipment

Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total 100-08:						7,457.37		
100-11								
First Net	2872946568	17	Invoice	Mayor & Council	03/20/2026	320.60	100-11-52100	Telephone
Total 100-11:						320.60		
100-15								
Idaho Indep. Intergov. Authority	2886	5	Invoice	City Assets	03/20/2026	3,537.00	100-15-50011	Insurance - Health
Forsgren Associates Inc.	225810	1	Invoice	FY21 Transportation Plan KN 22026 #10	11/26/2025	3,641.48	100-15-51090	Engineering Services
Forsgren Associates Inc.	225721	1	Invoice	FY21 Transportation Plan KN 22026 #9	10/25/2025	2,469.84	100-15-51090	Engineering Services
Christensen Inc. dba United Oil	CL08811	1	Invoice	Fuel - Card #263139	03/15/2026	51.26	100-15-51110	Fuel
Christensen Inc. dba United Oil	CL08812	1	Invoice	Fuel - Card #8191665	03/15/2026	44.63	100-15-51110	Fuel
Christensen Inc. dba United Oil	CL09673	1	Invoice	Fuel - Card #263139	03/31/2026	36.34	100-15-51110	Fuel
Christensen Inc. dba United Oil	CL09674	1	Invoice	Fuel - Card #8191665	03/31/2026	79.54	100-15-51110	Fuel
Napa Auto Parts	255141	1	Invoice	Oil for oil changes	03/27/2026	332.97	100-15-51110	Fuel
Valley Wide Cooperative	A36516	1	Invoice	Fuel - Card #3816743	03/25/2026	20.03	100-15-51110	Fuel
Dusty's Electric, Inc.	18675	1	Invoice	Power pole replacement	03/31/2026	2,891.32	100-15-51161	R & M - Bldgs & Grounds
L.L. Green's Hardware	B499595	1	Invoice	Shop garage door switch	03/31/2026	11.99	100-15-51161	R & M - Bldgs & Grounds
Palomera, Maria	219	1	Invoice	Office Cleaning - April	04/01/2026	375.00	100-15-51161	R & M - Bldgs & Grounds
L.L. Green's Hardware	B499226	1	Invoice	Grass seed/Memorial Park	03/26/2026	146.98	100-15-51162	R & M - Parks
Napa Auto Parts	254610	1	Invoice	Oil filters for John Deere Lawn Mower	03/24/2026	10.22	100-15-51163	R & M - Equipment (non-au
Safety Supply & Sign Company, In	197430	1	Invoice	Stop signs & posts for streets	03/20/2026	2,073.65	100-15-52070	Signs
Valley Wide Cooperative	96206/9	1	Invoice	Shop tools	03/19/2026	36.98	100-15-52080	Small Tools & Equipment
L.L. Green's Hardware	C23070	1	Invoice	Paint Samples	03/04/2026	29.96	100-15-52090	Supplies
Napa Auto Parts	255321	1	Invoice	Shop supplies	03/31/2026	71.81	100-15-52090	Supplies
Oxarc	0062270478	1	Invoice	Supplies	03/31/2026	9.61	100-15-52090	Supplies
Valley Wide Cooperative	96354/9	1	Invoice	Tee Posts	03/26/2026	29.20	100-15-52090	Supplies
Valley Wide Cooperative	96477/9	1	Invoice	Supplies for signs	03/31/2026	23.65	100-15-52090	Supplies
Valley Wide Cooperative	96499/9	1	Invoice	Supplies for signs	04/01/2026	40.15	100-15-52090	Supplies
Valley Wide Cooperative	96515/9	1	Invoice	Supplies for signs	04/02/2026	4.55	100-15-52090	Supplies
First Net	2872946568	13	Invoice	Streets - 208-309-6895	03/20/2026	62.80	100-15-52100	Telephone
Intermountain Gas	0767343000-	1	Invoice	Fire Station	03/23/2026	103.56	100-15-52140	Utilities - Gas
Intermountain Gas	0767343000-	2	Invoice	Museum	03/23/2026	59.43	100-15-52140	Utilities - Gas
Intermountain Gas	0767343000-	3	Invoice	City Hall	03/23/2026	135.39	100-15-52140	Utilities - Gas
Intermountain Gas	0767343000-	5	Invoice	Shop	03/23/2026	129.81	100-15-52140	Utilities - Gas
Idaho Power	2203628603-	1	Invoice	100 8th St. Park	03/26/2026	36.81	100-15-52143	Utilities - Power
Idaho Power	2203628603-	2	Invoice	114 Ellm St.	03/26/2026	39.19	100-15-52143	Utilities - Power
Idaho Power	2203628603-	3	Invoice	115 Pine. St. /City Hall	03/26/2026	192.51	100-15-52143	Utilities - Power
Idaho Power	2203628603-	4	Invoice	116 Pine St.	03/26/2026	34.26	100-15-52143	Utilities - Power

Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Idaho Power	2203628603-	5	Invoice	115 Pine St./Library	03/26/2026	96.94	100-15-52143	Utilities - Power
Idaho Power	2203628603-	8	Invoice	206 N. Main St. /Museum	03/26/2026	64.95	100-15-52143	Utilities - Power
Idaho Power	2203628603-	10	Invoice	300 E. Cedar St. Park	03/26/2026	26.34	100-15-52143	Utilities - Power
Idaho Power	2203628603-	11	Invoice	318 E. Cedar St. Park	03/26/2026	26.34	100-15-52143	Utilities - Power
Idaho Power	2203628603-	13	Invoice	517 N 2nd St. - Fire Station	03/26/2026	102.32	100-15-52143	Utilities - Power
Idaho Power	2203628603-	15	Invoice	Shop	03/26/2026	250.06	100-15-52143	Utilities - Power
Idaho Power	2203628603-	6	Invoice	1461 S. Main St. Lite	03/26/2026	34.55	100-15-52145	Utilities - Street Lights
Idaho Power	2203628603-	7	Invoice	161 Cowcatcher Loop Lite	03/26/2026	1.76	100-15-52145	Utilities - Street Lights
Idaho Power	2203628603-	9	Invoice	218 N. Main St. Lite	03/26/2026	3.76	100-15-52145	Utilities - Street Lights
Idaho Power	2203628603-	12	Invoice	508 Broadford Rd. Light	03/26/2026	28.79	100-15-52145	Utilities - Street Lights
Idaho Power	2203628603-	14	Invoice	714 N. Main St. Light	03/26/2026	31.24	100-15-52145	Utilities - Street Lights
Idaho Power	2203628603-	16	Invoice	921 Riverside Dr. Lite	03/26/2026	1.40	100-15-52145	Utilities - Street Lights
Idaho Power	2203628603-	17	Invoice	Street Lights	03/26/2026	1,722.29	100-15-52145	Utilities - Street Lights
Idaho Power	2203628603-	18	Invoice	Street Lights	03/26/2026	30.03	100-15-52145	Utilities - Street Lights
Clear Creek Disposal	0001896855	1	Invoice	O'Donnell Park - March	03/26/2026	149.60	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001896856	1	Invoice	Memorial Park - March	03/26/2026	243.89	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001896857	1	Invoice	Howard Preserve Park - March	03/26/2026	74.80	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001896858	1	Invoice	City Hall - March	03/26/2026	76.35	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001896860	1	Invoice	Shop - March	03/26/2026	150.08	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001896861	1	Invoice	Fire Station - March	03/26/2026	29.14	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001896862	1	Invoice	Museum - March	03/26/2026	74.88	100-15-52146	Utilities - Trash/Toilet/Recy
White Cloud Communications, Inc	110437	1	Invoice	Radio Service - Public Works Dept. - Mar	04/01/2026	20.00	100-15-56045	Radio Fees
Rumbles Documents Solutions LL	5038122898	1	Invoice	Bobcat Toolcat - 3/15/26 - 4/14/26	03/21/2026	527.01	100-15-58150	Auto/Equipment Lease (12
The Bancorp Bank, N.A.	729106	1	Invoice	1/3 Chevy 5500 lease/April	03/31/2026	608.66	100-15-58150	Auto/Equipment Lease (12
Total 100-15:						21,137.10		
200-20								
Idaho Indep. Intergov. Authority	2886	6	Invoice	Water Health Insur	03/20/2026	912.50	200-20-50011	Insurance - Health
State Insurance Fund	30887417	2	Invoice	WF WC Insur	03/25/2026	300.00	200-20-50015	Workers Compensation Ins
Advanced Control Systems, LLC	41880	1	Invoice	Carefree SCADA Program	03/20/2026	160.00	200-20-51062	Computers - Software & Su
Gray, Andrew J	0000013	1	Invoice	Water License - March	04/06/2026	2,000.00	200-20-51073	Contract Labor
Gray, Andrew J	0000013	2	Invoice	On-Site hrs. 3/1/26 - 3/31/26	04/06/2026	4,365.00	200-20-51073	Contract Labor
Christensen Inc. dba United Oil	CL08811	2	Invoice	Fuel - Card #263139	03/15/2026	51.26	200-20-51110	Fuel
Christensen Inc. dba United Oil	CL08812	2	Invoice	Fuel - Card #8191665	03/15/2026	44.64	200-20-51110	Fuel
Christensen Inc. dba United Oil	CL09673	2	Invoice	Fuel - Card #263139	03/31/2026	36.34	200-20-51110	Fuel
Christensen Inc. dba United Oil	CL09674	2	Invoice	Fuel - Card #8191665	03/31/2026	79.55	200-20-51110	Fuel
Valley Wide Cooperative	A36516	2	Invoice	Fuel - Card #3816743	03/25/2026	20.03	200-20-51110	Fuel
G.J. Verti-Line Pumps, Inc.	14613	1	Invoice	Yearly pump maintenance	04/01/2026	735.00	200-20-51160	Repairs & Maintenance (G
Safety Supply & Sign Company, In	197429	1	Invoice	Baracade & road closed signs	03/20/2026	1,177.26	200-20-52070	Signs
First Net	2872946568	14	Invoice	Public Works - 208-309-1609	03/20/2026	50.85	200-20-52100	Telephone

Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
First Net	2872946568	16	Invoice	Public Works on call - 208-309-6733	03/20/2026	45.80	200-20-52100	Telephone
Water Dynamics, LLC dba Magic	38091	1	Invoice	Water Test Samples	03/25/2026	251.00	200-20-52110	Test Samples - Water & Se
Johnson, Chris	461487	1	Invoice	IRWA Spring Conf. Mtgs.	04/01/2026	106.06	200-20-52120	Training & Meetings
Intermountain Gas - Strahorn Pu	1315962484	1	Invoice	100 Slaughterhouse - Pump Station	03/23/2026	34.87	200-20-52140	Utilities - Gas
Idaho Power	2227225774-	1	Invoice	100 Slaughterhouse Gulch	03/23/2026	373.33	200-20-52143	Utilities - Power
Idaho Power	2227225774-	2	Invoice	32 Muldoon Rd.	03/23/2026	38.13	200-20-52143	Utilities - Power
Idaho Power	2227225774-	3	Invoice	400 Muldoon Rd.	03/23/2026	89.24	200-20-52143	Utilities - Power
Idaho Power	2227225774-	4	Invoice	805 Chestnut St Pump	03/23/2026	276.91	200-20-52143	Utilities - Power
Idaho Power	2227225774-	5	Invoice	90 1/2 Tendoy St. Well	03/23/2026	41.25	200-20-52143	Utilities - Power
Idaho Power	2227225774-	6	Invoice	90 Tendoy St. Well	03/23/2026	374.43	200-20-52143	Utilities - Power
White Cloud Communications, Inc	110437	2	Invoice	Radio Service - Public Works Dept. - Mar	04/01/2026	20.00	200-20-56045	Radio Fees
Advanced Control Systems, LLC	41949	1	Invoice	SCADA upgrades	04/02/2026	1,350.00	200-20-57500	Scada Maintenance & Rep
McHugh Bromley Attorneys at La	1000 5081	1	Invoice	Legal assistance for water project	02/28/2026	1,844.00	200-20-58125	Water Improvements IDEQ
Rumbles Documents Solutions LL	5038122898	2	Invoice	Bobcat Toolcat - 3/15/26 - 4/14/26	03/21/2026	527.02	200-20-58150	Auto/Equipment Lease (12
The Bancorp Bank, N.A.	729106	2	Invoice	1/3 Chevy 5500 lease/April	03/31/2026	608.66	200-20-58150	Auto/Equipment Lease (12
Core & Main	V000030458	1	Invoice	Meters	03/31/2026	3,043.68	200-20-58260	Water Meter or Vault Expe
Total 200-20:						18,956.81		
300-30								
Idaho Indep. Intergov. Authority	2886	7	Invoice	WW Health Insur	03/20/2026	912.50	300-30-50011	Insurance - Health
State Insurance Fund	30887417	3	Invoice	WWF WC Insur	03/25/2026	316.00	300-30-50015	Workers Compensation Ins
Air St Lukes Membership	040126	1	Invoice	Membership - Rocket Lukkasson	04/02/2026	55.00	300-30-51080	Dues & Memberships
Christensen Inc. dba United Oil	CL08809	1	Invoice	Card #263140/Wastewater	03/15/2026	167.54	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL08811	3	Invoice	Fuel - Card #263139	03/15/2026	51.26	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL08812	3	Invoice	Fuel - Card #8191665	03/15/2026	44.64	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL09671	1	Invoice	Fuel - Card #263140	03/31/2026	162.09	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL09673	3	Invoice	Fuel - Card #263139	03/31/2026	36.34	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL09674	3	Invoice	Fuel - Card #8191665	03/31/2026	79.55	300-30-51110	Fuel
Valley Wide Cooperative	A36516	3	Invoice	Fuel - Card #3816743	03/25/2026	20.04	300-30-51110	Fuel
Advanced Control Systems, LLC	41879	1	Invoice	Carefree SCADA Additional services	03/20/2026	773.00	300-30-51160	Repairs & Maintenance (G
Rocky Mountain Valves & Automa	INV-01820	1	Invoice	Parts for WWTP rehabilitation	03/11/2026	3,328.83	300-30-51160	Repairs & Maintenance (G
Western States Equipment Co.	IN003537344	1	Invoice	Annual maintenance & testing of main lift	03/18/2026	2,075.59	300-30-51163	R & M - Equipment (non-au
Safety Supply & Sign Company, In	197429	2	Invoice	Barcade & road closed signs	03/20/2026	1,177.26	300-30-52070	Signs
Core & Main	INV0027586	1	Invoice	Wastewater supplies	03/11/2026	110.15	300-30-52090	Supplies
Thatcher Company	2026200100	1	Invoice	Chlorine Gas for WWTP	03/23/2026	14,549.30	300-30-52090	Supplies
Thatcher Company	2026100900	1	Invoice	Credit - returned cylinders	03/23/2026	3,850.00-	300-30-52090	Supplies
Thatcher Company	2026100900	1	Invoice	Credit - returned cylinders	04/02/2026	3,150.00-	300-30-52090	Supplies
First Net	2872946568	15	Invoice	Public Works - 208-309-0656	03/20/2026	45.80	300-30-52100	Telephone
Go-Fer It Express Inc.	143582	1	Invoice	Wastewater sample delivery chg.	03/31/2026	157.50	300-30-52110	Test Samples - Water & Se
Water Dynamics, LLC dba Magic	38096	1	Invoice	Wastewater Monthly Samples	03/25/2026	1,556.00	300-30-52110	Test Samples - Water & Se

City of Bellevue
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Invoice Register - Claims by Dept
Input Dates: 3/24/2026 - 4/13/2026

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Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Johnson, Chris	461487	2	Invoice	IRWA Spring Conf. Mtgs.	04/01/2026	106.06	300-30-52120	Training & Meetings
Intermountain Gas	0767343000-	4	Invoice	130 Riverview Dr.	03/23/2026	86.24	300-30-52140	Utilities - Gas
Idaho Power	2227225816-	1	Invoice	1269 Glen Aspen Dr.	03/23/2026	44.16	300-30-52143	Utilities - Power
Idaho Power	2227225816-	2	Invoice	130 Riverview Dr. Lift	03/23/2026	240.22	300-30-52143	Utilities - Power
Idaho Power	2227225816-	3	Invoice	31 Alyson Dr. Lagoon	03/23/2026	1,028.83	300-30-52143	Utilities - Power
Idaho Power	2227225816-	4	Invoice	31 Alyson Rd. Main	03/23/2026	1,690.10	300-30-52143	Utilities - Power
Idaho Power	2227225816-	5	Invoice	80 Honeysuckle Lift	03/23/2026	32.94	300-30-52143	Utilities - Power
Idaho Power	2227225816-	6	Invoice	88 Martin Ln. Lift	03/23/2026	114.21	300-30-52143	Utilities - Power
Idaho Power	2227225816-	7	Invoice	90 Tendoy St. Lift	03/23/2026	41.62	300-30-52143	Utilities - Power
Clear Creek Disposal	0001896859	1	Invoice	31 Alyson Rd. - March	03/26/2026	4.00	300-30-52146	Utilities - Trash/Toilet/Recy
White Cloud Communications, Inc	110437	3	Invoice	Radio Service - Public Works Dept. - Mar	04/01/2026	20.00	300-30-56045	Radio Fees
Valley Wide Cooperative	96619/9	1	Invoice	Waders	04/06/2026	169.95	300-30-57000	Safety Equipment
Zenon Environmental Corp.	903705319	1	Invoice	Membrane Replacement - #1	03/17/2026	156,760.00	300-30-58120	Construction & Improve
Rumbles Documents Solutions LL	5038122898	3	Invoice	Bobcat Toolcat - 3/15/26 - 4/14/26	03/21/2026	527.02	300-30-58150	Auto/Equipment Lease (12
The Bancorp Bank, N.A.	729106	3	Invoice	1/3 Chevy 5500 lease/April	03/31/2026	608.66	300-30-58150	Auto/Equipment Lease (12
Total 300-30:						180,092.40		
Grand Totals:						247,042.50		

Report GL Period Summary

Vendor number hash: 0
 Vendor number hash - split: 0
 Total number of invoices: 0
 Total number of transactions: 0

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Advanced Control Systems, LLC (120)							
41879	1	Invoice	Carefree SCADA Additional services	03/20/2026	773.00	300-30-51160	Repairs & Maintenance (Gen
41880	1	Invoice	Carefree SCADA Program	03/20/2026	160.00	200-20-51062	Computers - Software & Subs
41949	1	Invoice	SCADA upgrades	04/02/2026	1,350.00	200-20-57500	Scada Maintenance & Repairs
Total Advanced Control Systems, LLC (120):					2,283.00		
AFBA (160)							
040526	1	Invoice	Life Insurance - April	04/06/2026	80.00	100-05-50014	Insurance - Life
Total AFBA (160):					80.00		
Air St Lukes Membership (180)							
040126	1	Invoice	Membership - Rocket Lukkasson	04/02/2026	55.00	300-30-51080	Dues & Memberships
Total Air St Lukes Membership (180):					55.00		
Christensen Inc. dba United Oil (640)							
CL08809	1	Invoice	Card #263140/Wastewater	03/15/2026	167.54	300-30-51110	Fuel
CL08810	1	Invoice	Fuel - Card #263953/Gaston	03/15/2026	64.04	100-08-51110	Fuel
CL08810	2	Invoice	Fuel - Card #263954/Shelamer	03/15/2026	155.17	100-08-51110	Fuel
CL08810	3	Invoice	Fuel - Card #263955/Thayer	03/15/2026	183.70	100-08-51110	Fuel
CL08810	4	Invoice	Fuel - Card #6857653/Marin	03/15/2026	192.84	100-08-51110	Fuel
CL08811	1	Invoice	Fuel - Card #263139	03/15/2026	51.26	100-15-51110	Fuel
CL08811	2	Invoice	Fuel - Card #263139	03/15/2026	51.26	200-20-51110	Fuel
CL08811	3	Invoice	Fuel - Card #263139	03/15/2026	51.26	300-30-51110	Fuel
CL08812	1	Invoice	Fuel - Card #8191665	03/15/2026	44.63	100-15-51110	Fuel
CL08812	2	Invoice	Fuel - Card #8191665	03/15/2026	44.64	200-20-51110	Fuel
CL08812	3	Invoice	Fuel - Card #8191665	03/15/2026	44.64	300-30-51110	Fuel
CL09671	1	Invoice	Fuel - Card #263140	03/31/2026	162.09	300-30-51110	Fuel
CL109672	1	Invoice	Fuel - Card #263953/Gaston	03/31/2026	467.10	100-08-51110	Fuel
CL109672	2	Invoice	Fuel - Card #263955/Thayer	03/31/2026	256.14	100-08-51110	Fuel
CL109672	3	Invoice	Fuel - Card #6857653/Marin	03/31/2026	186.48	100-08-51110	Fuel
CL09673	1	Invoice	Fuel - Card #263139	03/31/2026	36.34	100-15-51110	Fuel
CL09673	2	Invoice	Fuel - Card #263139	03/31/2026	36.34	200-20-51110	Fuel
CL09673	3	Invoice	Fuel - Card #263139	03/31/2026	36.34	300-30-51110	Fuel
CL09674	1	Invoice	Fuel - Card #8191665	03/31/2026	79.54	100-15-51110	Fuel
CL09674	2	Invoice	Fuel - Card #8191665	03/31/2026	79.55	200-20-51110	Fuel
CL09674	3	Invoice	Fuel - Card #8191665	03/31/2026	79.55	300-30-51110	Fuel
CL09672	1	Invoice	Fuel - Card #263953/Gaston	03/31/2026	467.10	100-08-51110	Fuel
CL09672	2	Invoice	Fuel - Card #263955/Thayer	03/31/2026	256.14	100-08-51110	Fuel

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
CL09672	3	Invoice	Fuel - Card #6857653/Marin	03/31/2026	186.18	100-08-51110	Fuel
Total Christensen Inc. dba United Oil (640):					2,379.57	2,470.15	
Clear Creek Disposal (690)							
0001896855	1	Invoice	O'Donnell Park - March	03/26/2026	149.60	100-15-52146	Utilities - Trash/Toilet/Recyc
0001896856	1	Invoice	Memorial Park - March	03/26/2026	243.89	100-15-52146	Utilities - Trash/Toilet/Recyc
0001896857	1	Invoice	Howard Preserve Park - March	03/26/2026	74.80	100-15-52146	Utilities - Trash/Toilet/Recyc
0001896858	1	Invoice	City Hall - March	03/26/2026	76.35	100-15-52146	Utilities - Trash/Toilet/Recyc
0001896859	1	Invoice	31 Alyson Rd. - March	03/26/2026	4.00	300-30-52146	Utilities - Trash/Toilet/Recyc
0001896860	1	Invoice	Shop - March	03/26/2026	150.08	100-15-52146	Utilities - Trash/Toilet/Recyc
0001896861	1	Invoice	Fire Station - March	03/26/2026	29.14	100-15-52146	Utilities - Trash/Toilet/Recyc
0001896862	1	Invoice	Museum - March	03/26/2026	74.88	100-15-52146	Utilities - Trash/Toilet/Recyc
Total Clear Creek Disposal (690):					802.74		
Core & Main (790)							
INV0027586	1	Invoice	Wastewater supplies	03/11/2026	110.15	300-30-52090	Supplies
V000030458	1	Invoice	Meters	03/31/2026	3,043.68	200-20-58260	Water Meter or Vault Expense
Total Core & Main (790):					3,153.83		
Dell Marketing, LP (900)							
1086797567	1	Invoice	Laptop - Carter	03/26/2026	1,462.70	100-03-58110	Computer/Software Purchase
Total Dell Marketing, LP (900):					1,462.70		
DL Evans - Fire Dept. (970)							
3087-04	1	Invoice	Amazon - Hitch Pins	03/22/2026	48.71	100-05-52080	Small Tools & Equipment
3087-04	2	Invoice	Coaxsher - Wildland Clothing	03/22/2026	539.90	100-05-57000	Safety Equipment
3087-04	3	Invoice	Scheels - Safety Equipment	03/22/2026	471.70	100-05-57000	Safety Equipment
Total DL Evans - Fire Dept. (970):					1,060.31		
DL Evans - Library (980)							
4580-04	1	Invoice	Enotes.com	03/22/2026	54.11	100-07-51080	Dues & Memberships
4580-04	2	Invoice	NY Times	03/22/2026	4.00	100-07-55000	Library New Books
Total DL Evans - Library (980):					58.11		

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
DL Evans - Mayor (1000)							
2563-04	1	Invoice	Amazon - Prime Membership	03/22/2026	15.89	100-01-51080	Dues & Memberships
2563-04	2	Invoice	MSFT	03/22/2026	148.50	100-01-51062	Computers - Software & Subscri
2563-04	3	Invoice	MSFT	03/22/2026	116.00	100-01-51062	Computers - Software & Subscri
2563-04	4	Invoice	Elementor.com - plug in for website	03/22/2026	79.00	100-01-51062	Computers - Software & Subscri
2563-04	5	Invoice	Amazon - copy paper & supplies	03/22/2026	225.73	100-01-52010	Office Supplies
2563-04	8	Invoice	Amazon - envelopes for A/P	03/22/2026	53.20	100-01-52010	Office Supplies
2563-04	7	Invoice	Mailchimp	03/22/2026	19.50	100-01-51062	Computers - Software & Subscri
2563-04	6	Invoice	Microsoft	03/22/2026	75.60	100-01-51062	Computers - Software & Subscri
2563-04	9	Invoice	Albertson's - supplies	03/22/2026	16.99	100-01-52090	Supplies
2563-04	10	Invoice	Don David Bakery	03/22/2026	67.27	100-01-52090	Supplies
Total DL Evans - Mayor (1000):					817.68		
Domain Listings (4520)							
DL-1352-851	1	Invoice	Annual Website Domain 5/15/26 - 5/14/27	03/30/2026	288.00	100-01-51062	Computers - Software & Subscri
Total Domain Listings (4520):					288.00		
Dusty's Electric, Inc. (3780)							
18675	1	Invoice	Power pole replacement	03/31/2026	2,891.32	100-15-51161	R & M - Bldgs & Grounds
Total Dusty's Electric, Inc. (3780):					2,891.32		
Express Publishing - Idaho Mtn. Express (1590)							
033126	1	Invoice	Text Amendment #25-01	03/31/2026	38.64	100-01-52060	Publishing
033126	2	Invoice	Final plat- Meyers #25-02	03/31/2026	40.48	100-01-52060	Publishing
Total Express Publishing - Idaho Mtn. Express (1590):					79.12		
First Net (1150)							
2872946568	1	Invoice	City Clerk	03/20/2026	45.80	100-01-52100	Telephone
2872946568	2	Invoice	Treasurer	03/20/2026	45.80	100-01-52100	Telephone
2872946568	3	Invoice	Community Dev. Director	03/20/2026	45.80	100-03-52100	Telephone
2872946568	4	Invoice	Planner	03/20/2026	45.80	100-03-52100	Telephone
2872946568	5	Invoice	Fire Chief	03/20/2026	50.85	100-05-52100	Telephone
2872946568	6	Invoice	Library	03/20/2026	45.80	100-07-52100	Telephone
2872946568	7	Invoice	Deputy Marshal	03/20/2026	45.80	100-08-52100	Telephone
2872946568	8	Invoice	Laptop 1 - 208-309-3737	03/20/2026	40.57	100-08-52100	Telephone
2872946568	9	Invoice	Laptop 2 - 208-309-8879	03/20/2026	40.57	100-08-52100	Telephone
2872946568	10	Invoice	Laptop 3 - 208-309-8878	03/20/2026	40.57	100-08-52100	Telephone

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
2872946568	11	Invoice	Laptop 5 - 208-309-8876	03/20/2026	40.57	100-08-52100	Telephone
2872946568	12	Invoice	City of Bellevue FN - 208-309-8877	03/20/2026	40.57	100-08-52100	Telephone
2872946568	13	Invoice	Streets - 208-309-6895	03/20/2026	62.80	100-15-52100	Telephone
2872946568	14	Invoice	Public Works - 208-309-1609	03/20/2026	50.85	200-20-52100	Telephone
2872946568	15	Invoice	Public Works - 208-309-0656	03/20/2026	45.80	300-30-52100	Telephone
2872946568	16	Invoice	Public Works on call - 208-309-6733	03/20/2026	45.80	200-20-52100	Telephone
2872946568	17	Invoice	Mayor & Council	03/20/2026	320.60	100-11-52100	Telephone
Total First Net (1150):					1,054.35		
Forsgren Associates Inc. (3790)							
225810	1	Invoice	FY21 Transportation Plan KN 22026 #10	11/26/2025	3,641.48	100-15-51090	Engineering Services
225721	1	Invoice	FY21 Transportation Plan KN 22026 #9	10/25/2025	2,469.84	100-15-51090	Engineering Services
Total Forsgren Associates Inc. (3790):					6,111.32		
G.J. Verti-Line Pumps, Inc. (1210)							
14613	1	Invoice	Yearly pump maintenance	04/01/2026	735.00	200-20-51160	Repairs & Maintenance (Gen
Total G.J. Verti-Line Pumps, Inc. (1210):					735.00		
Go-Fer It Express Inc. (1300)							
143582	1	Invoice	Wastewater sample delivery chg.	03/31/2026	157.50	300-30-52110	Test Samples - Water & Sewer
Total Go-Fer It Express Inc. (1300):					157.50		
Gray, Andrew J (3930)							
0000013	1	Invoice	Water License - March	04/06/2026	2,000.00	200-20-51073	Contract Labor
0000013	2	Invoice	On-Site hrs. 3/1/26 - 3/31/26	04/06/2026	4,365.00	200-20-51073	Contract Labor
Total Gray, Andrew J (3930):					6,365.00		
Great America Financial Services (1330)							
41540617	1	Invoice	Konica copier - standard payment	03/21/2026	457.35	100-01-51180	Office Equipment Rental/Repair
Total Great America Financial Services (1330):					457.35		
Idaho Indep. Intergov. Authority (4290)							
2886	1	Invoice	Comm Dev Health Insur	03/20/2026	1,768.00	100-03-50011	Insurance - Health
2886	2	Invoice	Admin Health Insur	03/20/2026	4,837.00	100-01-50011	Insurance - Health
2886	3	Invoice	Library Health Insur	03/20/2026	884.00	100-07-50011	Insurance - Health

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
2886	4	Invoice	Marshal Health Insur	03/20/2026	4,466.00	100-08-50011	Insurance - Health
2886	5	Invoice	City Assets	03/20/2026	3,537.00	100-15-50011	Insurance - Health
2886	6	Invoice	Water Health Insur	03/20/2026	912.50	200-20-50011	Insurance - Health
2886	7	Invoice	WW Health Insur	03/20/2026	912.50	300-30-50011	Insurance - Health
Total Idaho Indep. Intergov. Authority (4290):					17,317.00		
Idaho Power (1600)							
2227225774-	1	Invoice	100 Slaughterhouse Gulch	03/23/2026	373.33	200-20-52143	Utilities - Power
2227225774-	2	Invoice	32 Muldoon Rd.	03/23/2026	38.13	200-20-52143	Utilities - Power
2227225774-	3	Invoice	400 Muldoon Rd.	03/23/2026	89.24	200-20-52143	Utilities - Power
2227225774-	4	Invoice	805 Chestnut St Pump	03/23/2026	276.91	200-20-52143	Utilities - Power
2227225774-	5	Invoice	90 1/2 Tendoy St. Well	03/23/2026	41.25	200-20-52143	Utilities - Power
2227225774-	6	Invoice	90 Tendoy St. Well	03/23/2026	374.43	200-20-52143	Utilities - Power
2227225816-	1	Invoice	1269 Glen Aspen Dr.	03/23/2026	44.16	300-30-52143	Utilities - Power
2227225816-	2	Invoice	130 Riverview Dr. Lift	03/23/2026	240.22	300-30-52143	Utilities - Power
2227225816-	3	Invoice	31 Alyson Dr. Lagoon	03/23/2026	1,028.83	300-30-52143	Utilities - Power
2227225816-	4	Invoice	31 Alyson Rd. Main	03/23/2026	1,690.10	300-30-52143	Utilities - Power
2227225816-	5	Invoice	80 Honeysuckle Lift	03/23/2026	32.94	300-30-52143	Utilities - Power
2227225816-	6	Invoice	88 Martin Ln. Lift	03/23/2026	114.21	300-30-52143	Utilities - Power
2227225816-	7	Invoice	90 Tendoy St. Lift	03/23/2026	41.62	300-30-52143	Utilities - Power
2203628603-	1	Invoice	100 8th St. Park	03/26/2026	36.81	100-15-52143	Utilities - Power
2203628603-	2	Invoice	114 Elm St.	03/26/2026	39.19	100-15-52143	Utilities - Power
2203628603-	3	Invoice	115 Pine. St. /City Hall	03/26/2026	192.51	100-15-52143	Utilities - Power
2203628603-	4	Invoice	116 Pine St.	03/26/2026	34.26	100-15-52143	Utilities - Power
2203628603-	5	Invoice	115 Pine St./Library	03/26/2026	96.94	100-15-52143	Utilities - Power
2203628603-	6	Invoice	1461 S. Main St. Lite	03/26/2026	34.55	100-15-52145	Utilities - Street Lights
2203628603-	7	Invoice	161 Cowcatcher Loop Lite	03/26/2026	1.76	100-15-52145	Utilities - Street Lights
2203628603-	8	Invoice	206 N. Main St. /Museum	03/26/2026	64.95	100-15-52143	Utilities - Power
2203628603-	9	Invoice	218 N. Main St. Lite	03/26/2026	3.76	100-15-52145	Utilities - Street Lights
2203628603-	10	Invoice	300 E. Cedar St. Park	03/26/2026	26.34	100-15-52143	Utilities - Power
2203628603-	11	Invoice	318 E. Cedar St. Park	03/26/2026	26.34	100-15-52143	Utilities - Power
2203628603-	12	Invoice	508 Broadford Rd. Light	03/26/2026	28.79	100-15-52145	Utilities - Street Lights
2203628603-	13	Invoice	517 N 2nd St. - Fire Station	03/26/2026	102.32	100-15-52143	Utilities - Power
2203628603-	14	Invoice	714 N. Main St. Light	03/26/2026	31.24	100-15-52145	Utilities - Street Lights
2203628603-	15	Invoice	Shop	03/26/2026	250.06	100-15-52143	Utilities - Power
2203628603-	16	Invoice	921 Riverside Dr. Lite	03/26/2026	1.40	100-15-52145	Utilities - Street Lights
2203628603-	17	Invoice	Street Lights	03/26/2026	1,722.29	100-15-52145	Utilities - Street Lights
2203628603-	18	Invoice	Street Lights	03/26/2026	30.03	100-15-52145	Utilities - Street Lights

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total Idaho Power (1600):					7,108.91		
Intermountain Gas (1730)							
0767343000-	1	Invoice	Fire Station	03/23/2026	103.56	100-15-52140	Utilities - Gas
0767343000-	2	Invoice	Museum	03/23/2026	59.43	100-15-52140	Utilities - Gas
0767343000-	3	Invoice	City Hall	03/23/2026	135.39	100-15-52140	Utilities - Gas
0767343000-	4	Invoice	130 Riverview Dr.	03/23/2026	86.24	300-30-52140	Utilities - Gas
0767343000-	5	Invoice	Shop	03/23/2026	129.81	100-15-52140	Utilities - Gas
Total Intermountain Gas (1730):					514.43		
Intermountain Gas - Strahorn Pump Statio (1740)							
1315962484	1	Invoice	100 Slaughterhouse - Pump Station	03/23/2026	34.87	200-20-52140	Utilities - Gas
Total Intermountain Gas - Strahorn Pump Statio (1740):					34.87		
Johnson, Chris (3890)							
461487	1	Invoice	IRWA Spring Conf. Mtgs.	04/01/2026	106.06	200-20-52120	Training & Meetings
461487	2	Invoice	IRWA Spring Conf. Mtgs.	04/01/2026	106.06	300-30-52120	Training & Meetings
Total Johnson, Chris (3890):					212.12		
L.L. Green's Hardware (1900)							
B499226	1	Invoice	Grass seed/Memorial Park	03/26/2026	146.98	100-15-51162	R & M - Parks
B499595	1	Invoice	Shop garage door switch	03/31/2026	11.99	100-15-51161	R & M - Bldgs & Grounds
C23070	1	Invoice	Paint Samples	03/04/2026	29.96	100-15-52090	Supplies
Total L.L. Green's Hardware (1900):					188.93		
McHugh Bromley Attorneys at Law PLLC (2110)							
1000 5081	1	Invoice	Legal assistance for water project	02/28/2026	1,844.00	200-20-58125	Water Improvements IDEQ
Total McHugh Bromley Attorneys at Law PLLC (2110):					1,844.00		
Micro Tech Systems (2150)							
95840	1	Invoice	Monthly Service - April	04/01/2026	1,579.75	100-01-51062	Computers - Software & Subscri
Total Micro Tech Systems (2150):					1,579.75		

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Minert & Associates, Inc. (2160)							
348836	1	Invoice	Supervisor Training	04/06/2026	95.00	100-01-52120	Training & Meetings
Total Minert & Associates, Inc. (2160):					95.00		
Modern Marketing (4510)							
MMI168080	1	Invoice	Star shaped stickers	03/30/2026	998.00	100-08-56050	Specialized Equipment
Total Modern Marketing (4510):					998.00		
Napa Auto Parts (2260)							
255321	1	Invoice	Shop supplies	03/31/2026	71.81	100-15-52090	Supplies
255141	1	Invoice	Oil for oil changes	03/27/2026	332.97	100-15-51110	Fuel
254610	1	Invoice	Oil filters for John Deere Lawn Mower	03/24/2026	10.22	100-15-51163	R & M - Equipment (non-auto)
Total Napa Auto Parts (2260):					415.00		
Oxarc (2390)							
0062270478	1	Invoice	Supplies	03/31/2026	9.61	100-15-52090	Supplies
Total Oxarc (2390):					9.61		
Palomera, Maria (2430)							
219	1	Invoice	Office Cleaning - April	04/01/2026	375.00	100-15-51161	R & M - Bldgs & Grounds
Total Palomera, Maria (2430):					375.00		
Pitney Bowes Purchase Power (2540)							
9705-04	1	Invoice	Postage Refill - 3/5/26	03/19/2026	303.00	100-01-52040	Postage, Copies, Mailing
Total Pitney Bowes Purchase Power (2540):					303.00		
Quill Corporation (2660)							
48271856	1	Invoice	Office Supplies	03/23/2026	64.77	100-01-52010	Office Supplies
Total Quill Corporation (2660):					64.77		
Rocky Mountain Valves & Automation (2790)							
INV-01820	1	Invoice	Parts for WWTP rehabilitation	03/11/2026	3,328.83	300-30-51160	Repairs & Maintenance (Gen

City of Bellevue
Hosted Live 3.11.2025

Invoice Register - Claim Report by Vendor
Input Dates: 3/24/2026 - 4/13/2026

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total Rocky Mountain Valves & Automation (2790):					3,328.83		
Romero, Herbert (4480)							
	2	1 Invoice	Completed 40 surveys	04/01/2026	1,500.00	100-03-51650	Comprehensive Plan
Total Romero, Herbert (4480):					1,500.00		
Rumbles Documents Solutions LL (2800)							
5038122898	1	Invoice	Bobcat Toolcat - 3/15/26 - 4/14/26	03/21/2026	527.01	100-15-58150	Auto/Equipment Lease (12+ mos)
5038122898	2	Invoice	Bobcat Toolcat - 3/15/26 - 4/14/26	03/21/2026	527.02	200-20-58150	Auto/Equipment Lease (12+ mos)
5038122898	3	Invoice	Bobcat Toolcat - 3/15/26 - 4/14/26	03/21/2026	527.02	300-30-58150	Auto/Equipment Lease (12+ mos)
Total Rumbles Documents Solutions LL (2800):					1,581.05		
Safety Supply & Sign Company, Inc. (2850)							
197429	1	Invoice	Baracade & road closed signs	03/20/2026	1,177.26	200-20-52070	Signs
197429	2	Invoice	Baracade & road closed signs	03/20/2026	1,177.26	300-30-52070	Signs
197430	1	Invoice	Stop signs & posts for streets	03/20/2026	2,073.65	100-15-52070	Signs
Total Safety Supply & Sign Company, Inc. (2850):					4,428.17		
Shelamer, Michael (2950)							
113837279	1	Invoice	Reimbursement - RC Willey	03/21/2026	239.55	100-08-56050	Specialized Equipment
Total Shelamer, Michael (2950):					239.55		
South Valley Storage Company LLC (3060)							
033126	1	Invoice	April Rent- Unit #F-13	03/31/2026	70.00	100-01-52085	Storage
Total South Valley Storage Company LLC (3060):					70.00		
State Insurance Fund (3110)							
30887417	1	Invoice	GF WC Insu	03/25/2026	2,716.00	100-01-50015	Workers Compensation Insurance
30887417	2	Invoice	WF WC Insur	03/25/2026	300.00	200-20-50015	Workers Compensation Insurance
30887417	3	Invoice	WWF WC Insur	03/25/2026	316.00	300-30-50015	Workers Compensation Insurance
Total State Insurance Fund (3110):					3,332.00		
Studio 360 Design (4390)							
11307	1	Invoice	Website Management	04/01/2026	130.00	100-01-51060	Computer IT Support

City of Bellevue
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Invoice Register - Claim Report by Vendor
Input Dates: 3/24/2026 - 4/13/2026

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total Studio 360 Design (4390):					130.00		
Sun Valley Senior Support (4500)							
INV-2001	1	Invoice	Tech Corner - Feb. & March	04/02/2026	200.00	100-07-55010	Library Programs
Total Sun Valley Senior Support (4500):					200.00		
Thatcher Company (3270)							
2026200100	1	Invoice	Chlorine Gas for WWTP	03/23/2026	14,549.30	300-30-52090	Supplies
2026100900	1	Invoice	Credit - returned cylinders	03/23/2026	3,850.00-	300-30-52090	Supplies
2026100900	1	Invoice	Credit - returned cylinders	04/02/2026	3,150.00-	300-30-52090	Supplies
Total Thatcher Company (3270):					7,549.30		
The Bancorp Bank, N.A. (3290)							
729106	1	Invoice	1/3 Chevy 5500 lease/April	03/31/2026	608.66	100-15-58150	Auto/Equipment Lease (12+ mos)
729106	2	Invoice	1/3 Chevy 5500 lease/April	03/31/2026	608.66	200-20-58150	Auto/Equipment Lease (12+ mos)
729106	3	Invoice	1/3 Chevy 5500 lease/April	03/31/2026	608.66	300-30-58150	Auto/Equipment Lease (12+ mos)
Total The Bancorp Bank, N.A. (3290):					1,825.98		
Valley Wide Cooperative (3510)							
96206/9	1	Invoice	Shop tools	03/19/2026	36.98	100-15-52080	Small Tools & Equipment
A36516	1	Invoice	Fuel - Card #3816743	03/25/2026	20.03	100-15-51110	Fuel
A36516	2	Invoice	Fuel - Card #3816743	03/25/2026	20.03	200-20-51110	Fuel
A36516	3	Invoice	Fuel - Card #3816743	03/25/2026	20.04	300-30-51110	Fuel
96354/9	1	Invoice	Tee Posts	03/26/2026	29.20	100-15-52090	Supplies
96477/9	1	Invoice	Supplies for signs	03/31/2026	23.65	100-15-52090	Supplies
A41543	1	Invoice	Fuel - Card #3816393	03/30/2026	78.66	100-05-51110	Fuel
96619/9	1	Invoice	Waders	04/06/2026	169.95	300-30-57000	Safety Equipment
96499/9	1	Invoice	Supplies for signs	04/01/2026	40.15	100-15-52090	Supplies
A74999	1	Invoice	Fuel - Card #3816395	04/07/2026	15.17	100-05-51110	Fuel
96515/9	1	Invoice	Supplies for signs	04/02/2026	4.55	100-15-52090	Supplies
Total Valley Wide Cooperative (3510):					458.41		
Water Dynamics, LLC dba Magic Valley Lab (3560)							
38091	1	Invoice	Water Test Samples	03/25/2026	251.00	200-20-52110	Test Samples - Water & Sewer
38096	1	Invoice	Wastewater Monthly Samples	03/25/2026	1,556.00	300-30-52110	Test Samples - Water & Sewer

City of Bellevue
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Invoice Register - Claim Report by Vendor
Input Dates: 3/24/2026 - 4/13/2026

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total Water Dynamics, LLC dba Magic Valley Lab (3560):					1,807.00		
Western States Equipment Co. (3640)							
IN003537344	1	Invoice	Annual maintenance & testing of main lift station generator	03/18/2026	2,075.59	300-30-51163	R & M - Equipment (non-auto)
Total Western States Equipment Co. (3640):					2,075.59		
White Cloud Communications, Inc. (3650)							
110437	1	Invoice	Radio Service - Public Works Dept. - March	04/01/2026	20.00	100-15-56045	Radio Fees
110437	2	Invoice	Radio Service - Public Works Dept. - March	04/01/2026	20.00	200-20-56045	Radio Fees
110437	3	Invoice	Radio Service - Public Works Dept. - March	04/01/2026	20.00	300-30-56045	Radio Fees
Total White Cloud Communications, Inc. (3650):					60.00		
Xpress Bill Pay (3860)							
XPR033751	1	Invoice	Xpress Bill Pay Monthly Fee	02/28/2026	140.00	100-01-51062	Computers - Software & Subscri
XPR034761	1	Invoice	Monthly Fee	03/31/2026	113.75	100-01-51062	Computers - Software & Subscri
Total Xpress Bill Pay (3860):					253.75		
Zenon Environmental Corp. (3770)							
903705319	1	Invoice	Membrane Replacement - #1	03/17/2026	156,760.00	300-30-58120	Construction & Improvement
Total Zenon Environmental Corp. (3770):					156,760.00		
Grand Totals:					247,951.92		

247,042.50

Report GL Period Summary

Vendor number hash: 0
Vendor number hash - split: 0
Total number of invoices: 0
Total number of transactions: 0

Bellevue Marshal's Office



115 E Pine Street
 PO Box 825
 Bellevue, ID 83313
 Phone: 208-788-3692
 Fax: 208-788-8526

City Council Report

Date: 04/03/2026

March Report

In March, the Bellevue Marshal's Office responded to a total of 365 calls for service (CFS), which resulted in:

Year to Date

26 case reports

74 citations issued

9 arrests made

Call for service	964
Case Reports	74
Citations	243
Arrests	34
ALPR plate reads	1,156,155
ALPR Searches	10

March was a busy month for the department due to staffing shortages. During Deputy Marin's leave to welcome his second child, the Blaine County Sheriff's Office provided assistance to help maintain coverage and service levels. We gratefully acknowledge their support.

BMO completed the annual assessment in coordination with ICRMP. The assessment supports our risk-management program and provides assistance toward our deductible.

Over the next several months we will conduct multiple training sessions to bolster departmental capacity and readiness. Deputy Thayer has agreed to serve as our third Field Training Officer and as general topics instructor. He will receive formal training for these roles over the next six months.

BMO would like to thank the council and mayor for their continued support.

Per the Mayor's request, there will be a FLOCK assessment on the April 27th meeting agenda.

If you ever have questions, please feel free to contact me.

Thank you,
K. Gaston



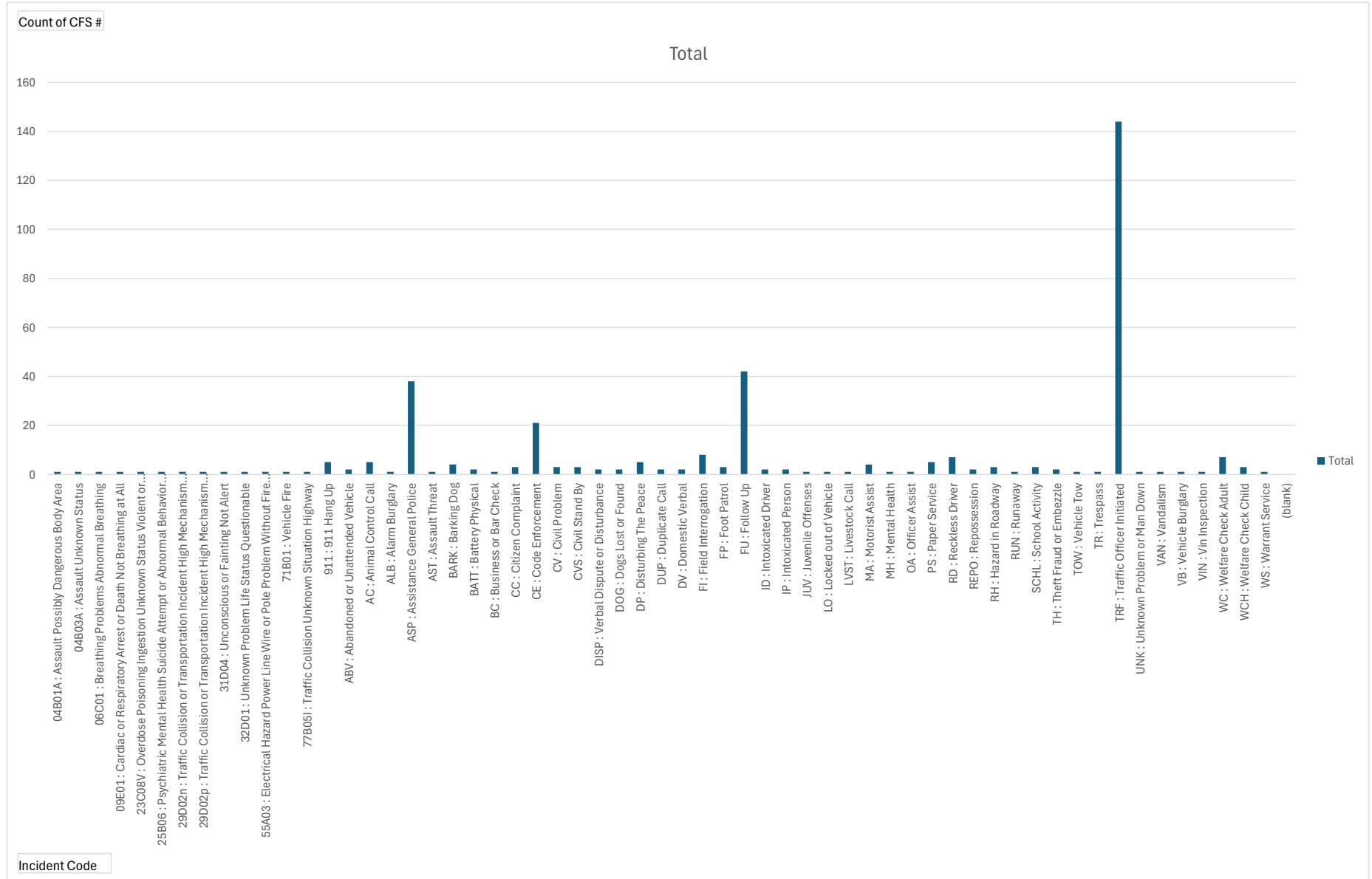
Bellevue Marshal's Office
115 E Pine Street
PO Box 825
Bellevue, ID 83313
208-7883692

Cases by Month

Printed on April 3, 2026

	Start Date/Time	Primary Officer	Statutes/Offenses	Disposition
BMO20260071	03/29/26 10:36	Marin, Emanuel	10.6.3(1) - BMO - Accessory Uses of	10.6.3(1) - BMO -
BMO20260074	03/31/26 18:59	Marin, Emanuel	OFF - OFFICER REPORT	OFF - OFFICER
BMO20260072	03/29/26 11:14	Marin, Emanuel	ASSIST - AGENCY ASSIST	ASSIST - AGENCY
BMO20260073	03/30/26 21:59	Marin, Emanuel	4-3-1 - BCSO - Runaways	4-3-1 - BCSO -
BMO20260065	03/17/26 19:43	Marin, Emanuel	BCC Civil - BMO - Civil City	BCC Civil - BMO - Civil
BMO20260070	03/26/26 07:47	Gaston, Kirtus	49-301 - MOTOR VEHICLES -	49-301 - MOTOR
BMO20260069	03/25/26 13:19	Gaston, Kirtus	18-8001 - DRIVING WITHOUT	18-8001 - DRIVING
BMO20260068	03/25/26 11:24	Gaston, Kirtus	18-2403 - THEFT - PETIT: FROM A	18-2403 - THEFT -
BMO20260067	03/22/26 15:17	Gaston, Kirtus	Traffic Crash	Traffic Crash
BMO20260066	03/22/26 10:35	Gaston, Kirtus		
BMO20260062	03/09/26 23:27	Marin, Emanuel	18-2407 - THEFT - GRAND: ALL	18-2407 - THEFT -
BMO20260058	03/07/26 19:35	Thayer, Joseph	18-918 - DOMESTIC VIOLENCE -	18-918 - DOMESTIC
BMO20260064	03/11/26 22:15	Thayer, Joseph	OFF-WELFARE - OFFICER	OFF-WELFARE -
BMO20260061	03/09/26 22:35	Marin, Emanuel	10.6.3(1) - BMO - Accessory Uses of	10.6.3(1) - BMO -
BMO20260063	03/10/26 11:07	Shelamer, Mike	OFF-THEFT - OFFICER REPORT -	OFF-THEFT - OFFICER
BMO20260056	03/06/26 13:49	Shelamer, Mike	OFF-BATTERY - OFFICER	OFF-BATTERY -
BMO20260060	03/08/26 19:03	Thayer, Joseph	19-512 - WARRANT ARREST MIS;	19-512 - WARRANT
BMO20260059	03/08/26 12:24	Marin, Emanuel	18-923 - ATTEMPTED	18-923 - ATTEMPTED
BMO20260057	03/07/26 13:32	Marin, Emanuel	49-1229 - MOTOR VEHICLES -	49-1229 - MOTOR
BMO20260055	03/05/26 18:53	Thayer, Joseph	OFF-HEALTH AND WELFARE -	OFF-HEALTH AND
BMO20260053	03/04/26 18:03	Thayer, Joseph	18-6409 - DISTURBING THE	18-6409 - DISTURBING
BMO20260052	03/04/26 16:46	Shelamer, Mike	OFF-THEFT - OFFICER REPORT -	OFF-THEFT - OFFICER
BMO20260054	03/05/26 04:44	Thayer, Joseph	OFF-WELFARE - OFFICER	OFF-WELFARE -
BMO20260049	03/01/26 11:41	Marin, Emanuel	BCC Civil - BMO - Civil City	BCC Civil - BMO - Civil
BMO20260051	03/01/26 22:24	Thayer, Joseph	18-8004(1)(A) (M) - DUI IN STATE	18-8004(1)(A) (M) - DUI
BMO20260050	03/01/26 15:56	Marin, Emanuel	OFF - OFFICER REPORT	OFF - OFFICER

Total Records: 26





Bellevue Marshal's Office
115 E Pine Street
PO Box 825
Bellevue, ID 83313
208-7883692

BMO Citation - By Officer, By Offense

Printed on April 3, 2026

[Citation->Issued Date/Time] is between '2026-03-01 00:00:00' and '2026-03-31 23:59:59' and

[Involvement->Case->Primary Officer->Agency->Name] is in this list 'E'Bellevue Marshal's Office"

Ticket #

Gaston, Kirtus

BEP350-0851

DRIVING WITHOUT PRIVILEGES - infraction Total: 1

BEP350-0877

DRIVING WITHOUT PRIVILEGES - misdemeanor Total: 1

BEP350-0875

BEP350-0874

MOTOR VEHICLES - DISTRACTED DRIVING Total: 2

BEP350-0878

MOTOR VEHICLES - DRIVERS LICENSE - COMMERCIAL LICENSE Total: 1

BEP350-0855

MOTOR VEHICLES - DRIVERS LICENSE - EXPIRED LICENSE Total: 1

BEP350-0883

BEP350-0856

MOTOR VEHICLES - DRIVERS LICENSE FAIL TO PURCHASE/INVALID Total: 2

BEP350-0859

MOTOR VEHICLES - DRIVERS LICENSE - MOTORCYCLE ENDORSEMENT Total: 1

BEP350-0871

MOTOR VEHICLES - FAIL TO PROVIDE PROOF OF INSURANCE - infraction Total: 1

BEP350-0861

BEP350-0876

MOTOR VEHICLES - FAIL TO YIELD TO PEDESTRIAN IN CROSSWALK Total: 2

BEP350-0872

MOTOR VEHICLES - REGISTRATION - FAIL TO NOTIFY OF CHANGE OF ADDRESS Total: 1

BEP350-0868

MOTOR VEHICLES - REGISTRATION - FAIL TO REGISTER ANNUALLY Total: 1

BEP350-0872

BEP350-0851

BEP350-0853

BEP350-0854

BEP350-0858

BEP350-0860

BEP350-0862

Ticket #

BEP350-0863
 BEP350-0864
 BEP350-0865
 BEP350-0866
 BEP350-0867
 BEP350-0869
 BEP350-0873
 BEP350-0879
 BEP350-0880
 BEP350-0881
 BEP350-0882
 BEP350-0884

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT Total: 19

BEP350-0857
 BEP350-0870
 BEP350-0856

MOTOR VEHICLES - STOP SIGN - FAIL TO STOP/YIELD FROM Total: 3**Gaston, Kirtus Total: 36****Marin, Emanuel**

BCC #107

BMO - Accessory Uses of RV 21 consecutive days within 6 months Total: 1

BCC #107

BMO - Civil City Ordinances Total: 1

BCC #107

BMO - Noise Ordinance Total: 1

BEP355-0205

Dogs Running at Large Total: 1

BEP355-0202

DRIVING WITHOUT PRIVILEGES - misdemeanor Total: 1

BEP355-0202

DUI IN STATE 2ND Total: 1

BEP355-0204

MOTOR VEHICLES - LICENSE PLATE REQUIRED Total: 1

BEP355-0211

MOTOR VEHICLES - DRIVERS LICENSE - INFRACTION Total: 1

BEP355-0201

MOTOR VEHICLES - FAIL TO MAINTAIN LIABILITY INSURANCE - infraction Total: 1

BEP355-0200

BEP355-0195

MOTOR VEHICLES - PASSENGER SAFETY FOR CHILDREN Total: 2

BEP355-0210

Ticket #**MOTOR VEHICLES - REGISTRATION - FAIL TO CARRY IN VEHICLE Total: 1**

BEP355-0203

MOTOR VEHICLES - REGISTRATION - FAIL TO NOTIFY OF CHANGE OF ADDRESS Total: 1

BEP355-0201

MOTOR VEHICLES - REGISTRATION - FAIL TO SECURE Total: 1

BEP355-0199

BEP355-0196

BEP355-0200

MOTOR VEHICLES - SAFETY RESTRAINT FAIL TO USE Total: 3

BEP355-0198

BEP355-0194

BEP355-0209

BEP355-0193

BEP355-0207

BEP355-0197

BEP355-0208

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT Total: 7

BEP355-0206

BEP355-0200

MOTOR VEHICLES - STOP SIGN - YIELD SIGN VIOLATIONS Total: 2**Marin, Emanuel Total: 26****Shelamer, Mike**

BEP365-0957

MOTOR VEHICLES - DRIVERS LICENSE - INFRACTION Total: 1

BEP365-0955

BEP365-0954

BEP365-0956

BEP365-0958

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT Total: 4**Shelamer, Mike Total: 5****Thayer, Joseph****DUI IN STATE 1ST Total: 1**

BEP370-0620

BEP370-0621

MOTOR VEHICLES - DRIVERS LICENSE FAIL TO PURCHASE/INVALID Total: 2

BEP370-0616

MOTOR VEHICLES - IMPROPER OR UNSAFE LANE CHANGE Total: 1

BEP370-0615

MOTOR VEHICLES - SPEED - BASIC RULE Total: 1

BEP370-0617

Ticket #

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT Total: 1

BEP370-0619

MOTOR VEHICLES - STOP SIGN - YIELD SIGN VIOLATIONS Total: 1

Thayer, Joseph Total: 7

Total Records: 74



Memorandum

To: Bellevue Common Council

From: Brian Parker, Community Development Director

Re: Department Report

Date: April 13, 2026

Building

Due to the data transition from internal Excel spreadsheets to Civic Review, a building permit report is not available this month. Staff is working on building an interactive Building Permit Dashboard. A very slow loading and poorly formatted test page can be viewed at <https://civicreviewdashboard.onrender.com/>.

Current Planning

In March, staff received one (1) preliminary plat application, one (1) sign permit application, and one (1) design review application.

Long Range Planning

The Comprehensive Plan Advisory Committee has been organizing into small groups to work on individual chapters of the Comprehensive Plan.

April's theme is "Quality Infrastructure." The survey is available at bellevueidaho.gov/surveys.



Memorandum

To: Mayor Giordani and The Bellevue Common Council

From: Amy Phelps, City Clerk

Re: Department Report

Date: April 13, 2025

The Bellevue Clerk's office exists to provide administrative services to the city as well as maintain city records and regulate city licensing. Additionally, the Clerk supports the legislative work of the Mayor and Common Council.

Licensing:

- New Business License Applications: 4
- Mobile Food Vendor License Application : 0
- Alcoholic Beverage License Renewals: 0

Public Records Request:

- Public Records Requests for the Month of March: 6

During the month of March, the Clerk's Office continued progress on several administrative and operational priorities. Ongoing work included development and refinement of records retention methods to ensure compliance and improved organization of city records. Additional research was conducted regarding public records requests and applicable provisions under Idaho Code to support consistent and lawful responses.

The department also completed updates to Civic Review, including all historical business license and alcohol license materials, and continued regular website maintenance to ensure accurate and accessible public information. Human Resources-related research and administrative matters were also addressed.

In addition to these projects, the Clerk's Office managed day-to-day operations and provided coverage for water and sewer clerk duties during staff vacation to ensure continuity of service.



Bellevue Fire Department

115 East Pine St. • P.O. Box 825 • Bellevue Idaho, 83313
Phone (208) 788-9277 • Fax (208) 788-2092

Bellevue Fire Department Council Report –April 7, 2026

Prepared by:
Greg Beaver, Fire Chief
Date: April 13, 2026

Department Initiatives

The Bellevue Fire Department is actively working on the following initiatives:

- 1. Fire Incident Reporting Software:** Fire incident reporting has transitioned from NFIRS to the new NERIS system, effective January 1st. This change has created challenges for the third-party company we use to manage our reports. As a result, I have been spending a significant amount of time working through these issues. Please be aware that reports may look different for the next few months when the transition is completed.

Update: I am working with a new person, and they have helped me with our incident reports.
- 2. Wildfire season:** It is heating up quickly and there have been a few wildfires in the county. We need everyone to be extra cautious with fire this year!
- 3. ISRB Inspection:** We will be going through our insurance rating in the next few months.

If you know someone who lives in Bellevue or within a 10-mile radius of the station and wants to give back to the community, please refer them to us.

Incident Report – January 1 to April 6 , 2026

- **Total Incidents:** 25
- **Average Turnout per Incident:** 3 personnel
- **Overall Average Response Time:** 6 minutes, 56 seconds

Incident Breakdown:

- Fire – Outside Fire- Dumpster/ Other Outside Fire 2
- Fire - Structure -Structural Involvement: 3
- Fire – Transportation Vehicle Fire: 2
- Hazardous Situation Electrical Power Line Down: 2
- Hazardous Situation Motor Vehicle Collision: 10
- Hazardous Situation - (No Fire): 1
- Hazardous Situation -Smoke Investigation: 1
- No Emergency – False Alarm-Accidental: 2
- Public Service – Alarms -Fire/ Smoke: 1
- Rescue – Structure – Extrication/ Entrapped: 1

Thank you for your continued support.

Sincerely,
Greg Beaver
Bellevue Fire Chief





Dispatch Incident Number (fiDispatch.03)	Dispatch Call Create Date Time (fiDispatch.10)	Total Incidents	Total Incidents Percent of Incidents	Average Number of Personnel	Response Time	Enroute to On Scene
Incident Type Primary (fiIncident.03): Fire - Outside Fire - Other Outside Fire						
26025	03/22/2026 19:02:32	1	16.67%	3.00	0:05:44	0:04:44
		Total: 1	Total: 16.67%	Total: 3.00		
Incident Type Primary (fiIncident.03): Fire - Transportation Fire - Vehicle Fire - Passenger						
26023	03/18/2026 08:37:55	1	16.67%	2.00	0:04:46	0:03:54
		Total: 1	Total: 16.67%	Total: 2.00		
Incident Type Primary (fiIncident.03): Hazardous Situation - Hazard Nonchemical - Electrical Power Line Down / Arching / Malfunction						
26021	03/15/2026 07:42:30	1	16.67%	1.00		
26021	03/15/2026 07:42:30	1	16.67%	2.00	0:04:20	0:01:05
		Total: 2	Total: 33.33%	Total: 3.00		
Incident Type Primary (fiIncident.03): Hazardous Situation - Hazard Nonchemical - Motor Vehicle Collision						
26020	03/06/2026 09:25:21	1	16.67%	4.00		
26024	03/22/2026 15:17:53	1	16.67%	3.00	0:04:16	0:03:29
		Total: 2	Total: 33.33%	Total: 7.00		
Incident Type Primary (fiIncident.03): No Emergency - False Alarm - Intentional False Alarm						
26019	03/03/2026 13:56:45	1	16.67%	1.50		
		Total: 1	Total: 16.67%	Total: 1.50		
		Total: 7	Total: 116.67%	Total: 16.50		

Report Criteria

Dispatch Call Create Date Time (Fidispach.10): Is Equal To Last Month

Neris Agency Name: Is In Bellevue FD

Library Staff Report
April 2026

Mayor and Council:

Here is what has been happening at the library.

- We completed the “Wood River Winter Reading Program” with the Hailey, Stanley and Community Libraries. Our Zoom book discussion took place on February 24, and was widely attended.
- Tech Corner was last offered on March 3, from 11-1 pm. We have decided to hold this series on the first Tuesday of each month. We have added this to the Mountain Express calendar.
- The Big Wood River Library District Steering Committee successfully presented our library district proposal to the County Commissioners at their February meeting, and it passed! We will officially be on the ballot in May 2026. Please feel free to call or come in with any questions you may have.
- The Library Board is happy to announce the addition of Lauren Levig to our Board and Suzanne Wrede as our City Council library liaison.
- Planning for summer programming is beginning to unfold. This year’s theme “Unearth a Good Book” will focus on dinosaurs.
- All this and more happening at the BELLEVUE LIBRARY!!! 😊 As always, children’s story time, Wednesdays at 11:45 am. For more up to date library information and PICTURES of our events, please like us on Facebook!

~Kristin

New Books:

Wild Dark Shore by Charlotte McConaghy

The Crossroads by CJ Box

Atmosphere by Taylor Jenkins Reid

Cry Havoc by Jack Carr

The Secret of Secrets by Dan Brown

What I’m Reading: The Girl’s Guide to Hunting and Fishing by Melissa Bank



Public Works April 13th Update

City Assets

Staff Report 4/8/26

A lot of the winter/spring transitional duties.

- Removed plows from all pickup, studded tires and sander from 5500
- 83313-04 needed bearings replaced in right side hub and 4x4
- Cleaned up dead weeds around Strahorn Pump Station
- Replaced door hinges and door shocks on backhoe
- Seasonal tune up on sit down mower, mower needs replaced
- Prepared City Hall for paint removal and painting
- Ordered Type 3 barricades with road closed signs, put together for CDD
- Have found all the buried water meters in alley that we can at this point
- Fixed fence around basketball court
- Serviced Marshall's Police Car's
- Putting up new dog stations
- Put out small Libraries
- Planted Grass on the frost-free trench at Memorial
- 3 A.M April 1st Swept Main Street
- Cleaned out Conex storage at sewer plant
- Palletized stuff for auction
- Remove graffiti at Memorial went around tightening bolts on the tables and benches
- Continue to patch potholes
- In the process of finding a crack seal machine to rent

We have been replacing stop signs and post over the past three years to bring them up Unified Traffic Standards. We have purchased what our very small sign budget



would allow. Stop signs cost \$46.76 each, a 10' telespar post is \$39.77 and the anchor for the post is \$15.12 So each sign replacement cost \$101.65 in materials. After 3 years we are within 15 signs of completing the project which has included going back and checking signs for proper height which is 7 feet at the bottom of the sign. It's been a long project but we no longer have four different post and two or three different types of signs all at different heights. With a tight budget we have come very far. Moving forward as we begin considering next years budget not only do we need to consider the cost of completing this project but also continued replacement and repairs along with other temporary signs for events and other permanent signage for parks, parking, handicap parking and street identification signs. In other news, the city now has a paint sprayer and paint. We plan to start painting parking stall lines in the Business core hopefully Monday.

Water

Meter Project

We continue to gather information on meters around the city to ensure the meter numbers and the service address are correct. This has been challenging as many meters have been buried, have had fencing placed over them or have RVs/trailers/vehicles parked on top of them. Some meter vaults have been found with a "jumper" a spacer pipe connecting the service which once identified we replace with a meter. The majority seem to be in good working order although some of the transmitter antennas have been damaged and replacements have been ordered and installed.

As we continue to work with Caselle and Neptune we are getting closer to a usable meter read list. We are working to get proper data and graphs operational in Caselle so we can start sharing usage information and identifying potential leaks. Caselle now says that we will be able to provide this information on customers bills in the near future and still bill at the flat rate until meter billing begins.

We are working to identify a metered rate with a base user fee and a tiered structure based on usage that is fair and meets our operation costs and expenses which will be presented to the council for adoption once completed.

Water Project

We have identified our preferred pipeline location and locations for potential new easements. We will have one more discussion with our engineering team and legal team prior to establishing a date for our next water team meeting. Additional information can be found in Merricks packet.



Water Operations

We received our most recent PFAS testing results and they are posted to the city's website. All sites came back non-detect meaning there was no detection or levels were below detectable level. DEQ has requested additional sampling at the spring diversion box. We will take one this spring once we receive the sampling kit and a second this fall. All other samplings are completed or current. The chlorine pumps have been installed at the well locations; we have ACS coming on Monday April 13th to connect the electrical and SCADA components. We will then need an engineer's review and stamp.

Wastewater

Plant Progress

We have provided additional information to Veolia for the membrane upgrades and still anticipate a May delivery date. We have hired a wastewater apprentice Rocket Lukkasson. We continue to conduct clean up and maintenance along with daily operations. Our project management contract with Great West has been completed, we will still receive some updates regarding funding with current applications we have submitted. We currently have around \$13,000 for engineering expenses for the remaining fiscal year should we need additional services.

Collections

Operations continue as normal and we are identifying priority projects for the next Budget cycle or sooner depending on available funds. The lift station pumps and control panels are in need of upgrades and repairs. Some of the panels are mounted on wood posts which are rotting away due to age and water damage.



Analytical Results Report For:

City of Bellevue - Idaho

Project Number:

PFAS 533

Anatek Work Order:

MGA0715

Anatek Labs, Inc.

1282 Alturas Drive - Moscow, ID 83843 - (208) 883-2839 - email moscow@anateklabs.com
504 E Sprague Ste. D - Spokane, WA 99202 - (509) 838-3999 - email spokane@anateklabs.com

Lab Federal ID#:	See Below	Lab/Sample Number:	MGA0715-01
Date Received:	01/28/2026	Date Reported by Lab:	03/27/2026
Compliance Sample:	Yes	Replacement Sample:	No
Collect Date:	01/26/2026	Collection Time:	13:40
Sample Type:	Raw Water		
PWS#:	5070004	PWS Name:	City of Bellevue - Idaho
Sample Point/ Location:	Spring Manifold	Tag#/Facility ID:	E0007823M
Contact Name:	AJ Gray	Contact Phone:	See Signature Page
Lab Federal ID#:	ID00013		

Public Drinking Water System Analysis Report

PFAS Analysis Report:

FRDS	Analyte	Result	Units	MCL	MRL	Analyzed	Analyst	Method	Qualifier
	11CI-PF3OUdS	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	4:2FTS	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	6:2FTS	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	8:2FTS	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	9CI-PF3ONS	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	ADONA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	HFPO-DA	ND	ng/L	10	2.00	2/4/26 23:07	JJ	EPA 533	
	NFDHA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFBA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFBS	ND	ng/L	2000	2.00	2/4/26 23:07	JJ	EPA 533	
	PFDA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFDaA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFEESA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFHpA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFHpS	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFHxA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFHxS	ND	ng/L	10	2.00	2/4/26 23:07	JJ	EPA 533	
	PFMBA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFMPA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFNA	ND	ng/L	10	2.00	2/4/26 23:07	JJ	EPA 533	
	PFOA	ND	ng/L	4	2.00	2/4/26 23:07	JJ	EPA 533	
	PFOS	ND	ng/L	4	2.00	2/4/26 23:07	JJ	EPA 533	
	PFPeA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFPeS	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*
	PFUnA	ND	ng/L		2.00	2/4/26 23:07	JJ	EPA 533	*

Anatek Labs, Inc.

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504 E Sprague Ste. D - Spokane, WA 99202 - (509) 838-3999 - email spokane@anateklabs.com

Lab Federal ID#:	See Below	Lab/Sample Number:	MGA0715-02
Date Received:	01/28/2026	Date Reported by Lab:	03/27/2026
Compliance Sample:	Yes	Replacement Sample:	No
Collect Date:	01/26/2026	Collection Time:	13:15
Sample Type:	Raw Water		
PWS#:	5070004	PWS Name:	City of Bellevue - Idaho
Sample Point/ Location:	Chestnut Well	Tag#/Facility ID:	A0004264
Contact Name:	AJ Gray	Contact Phone:	See Signature Page
Lab Federal ID#:	ID00013		

Public Drinking Water System Analysis Report

PFAS Analysis Report:

FRDS	Analyte	Result	Units	MCL	MRL	Analyzed	Analyst	Method	Qualifier
	11CI-PF3OUdS	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	4:2FTS	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	6:2FTS	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	8:2FTS	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	9CI-PF3ONS	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	ADONA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	HFPO-DA	ND	ng/L	10	2.00	2/4/26 23:32	JJ	EPA 533	
	NFDHA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFBA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFBS	ND	ng/L	2000	2.00	2/4/26 23:32	JJ	EPA 533	
	PFDA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFDaA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFEESA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFHpA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFHpS	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFHxA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFHxS	ND	ng/L	10	2.00	2/4/26 23:32	JJ	EPA 533	
	PFMBA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFMPA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFNA	ND	ng/L	10	2.00	2/4/26 23:32	JJ	EPA 533	
	PFOA	ND	ng/L	4	2.00	2/4/26 23:32	JJ	EPA 533	
	PFOS	ND	ng/L	4	2.00	2/4/26 23:32	JJ	EPA 533	
	PFPeA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFPeS	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*
	PFUnA	ND	ng/L		2.00	2/4/26 23:32	JJ	EPA 533	*

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504 E Sprague Ste. D - Spokane, WA 99202 - (509) 838-3999 - email spokane@anateklabs.com

Lab Federal ID#:	See Below	Lab/Sample Number:	MGA0715-03
Date Received:	01/28/2026	Date Reported by Lab:	03/27/2026
Compliance Sample:	Yes	Replacement Sample:	No
Collect Date:	01/26/2026	Collection Time:	12:45
Sample Type:	Raw Water		
PWS#:	5070004	PWS Name:	City of Bellevue - Idaho
Sample Point/ Location:	Chantrelle Well	Tag#/Facility ID:	A0018529
Contact Name:	AJ Gray	Contact Phone:	See Signature Page
Lab Federal ID#:	ID00013		

Public Drinking Water System Analysis Report

PFAS Analysis Report:

FRDS	Analyte	Result	Units	MCL	MRL	Analyzed	Analyst	Method	Qualifier
	11CI-PF3OUdS	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	4:2FTS	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	6:2FTS	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	8:2FTS	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	9CI-PF3ONS	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	ADONA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	HFPO-DA	ND	ng/L	10	2.00	2/4/26 23:58	JJ	EPA 533	*
	NFDHA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFBA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFBS	ND	ng/L	2000	2.00	2/4/26 23:58	JJ	EPA 533	*
	PFDA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFDaA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFEESA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFHpA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFHpS	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFHxA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFHxS	ND	ng/L	10	2.00	2/4/26 23:58	JJ	EPA 533	*
	PFMBA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFMPA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFNA	ND	ng/L	10	2.00	2/4/26 23:58	JJ	EPA 533	*
	PFOA	ND	ng/L	4	2.00	2/4/26 23:58	JJ	EPA 533	*
	PFOS	ND	ng/L	4	2.00	2/4/26 23:58	JJ	EPA 533	*
	PFPeA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFPeS	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*
	PFUnA	ND	ng/L		2.00	2/4/26 23:58	JJ	EPA 533	*

AJ Gray
City of Bellevue - Idaho
4349 N 1200 E
Bellevue, ID 83316
(208) 316-7659

Authorized Signature,

Cheyenne Garrett For Todd Taruscio, Laboratory Manager

Anatek Labs, Inc.

1282 Alturas Drive - Moscow, ID 83843 - (208) 883-2839 - email moscow@anateklabs.com
504 E Sprague Ste. D - Spokane, WA 99202 - (509) 838-3999 - email spokane@anateklabs.com

MRL	Minimum Reporting Level
ND	Not Detected
MCL	EPA's Maximum Contaminant Level
Dry	Sample results reported on a dry weight basis
*	Not a certified analyte

This report shall not be reproduced except in full, without the written approval of the laboratory
The results reported related only to the samples indicated.

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Certifications

Code	Description	Facility	Number
IDHW	Idaho	Anatek-Moscow, ID	ID00013



ANATEK LABS, INC - Multi-state Certified, NELAC Accredited

1282 Alturas Drive, Moscow ID 83843 208-883-2839 moscow@anateklabs.com EPA
1504 E Sprague Ste D, Spokane WA 99202 509-838-3999 spokane@anateklabs.com EPA

MGA0715



Due: 02/11/26

Idaho Chain of Custody - Drinking Water Analysis

WATER SYSTEM

City of Bellevue Idaho

SEND REPORT TO

ADDRESS

PO Box 825

CITY STATE ZIP

Bellevue ID, 83313

Water System #

ID 5070004

Phone Number

208-316-7659

E-Mail

Galaxy Area Goldfield@hotmail.com

County

Blaine

Sample Type	Sample Purpose
☒ Raw Water	☒ Compliance
☐ Distribution	☐ Investigative
☐ Plant Tap	☐ Other Purpose

Public Water System Jurisdiction

A copy of the report to be sent to:

Twin Falls Dept

Payment due with samples, unless credit has been established

Sample Collection Location

Spring Meadows

Well Tag #

E0607823M

Date & Time Collected

1/26/26 1340

Sampler Name

AJ Gary

Sampler Signature

AJ Gary

Receiving Check List

- | | |
|---|---------------------------------------|
| ☐ Received Intact | ☐ No Headspace |
| ☐ Labels & Chains Agree | ☐ Temp: _____ |
| ☐ Ice/Ice-Packs Present: _____ | |
| ☐ Custody Seals Present: _____ | |
| ☐ Preservatives: _____ | |

Check Desired Analyses

IOCs

- ☐ Sodium ☐ Fluoride ☐ Nitrate ☐ Nitrite
- ☐ Phase II IOC Metals
- ☐ Phase V IOC Metals
- ☐ Primary IOC Package with Cn Waiver
- ☐ Secondary/Optional IOC Package
- ☐ Complete IOC Package
- ☐ Cyanide
- ☐ Asbestos

VOCs & DBPs

- ☐ VOC
- ☐ TTHM
- ☐ HAA5
- ☐ TOC
- ☐ Alkalinity
- RADs**
- ☐ Gross Alpha
- ☐ Gross Beta
- ☐ RAD 226
- ☐ RAD 228
- ☐ Uranium

SOCs

- ☐ Phase II SOC
- ☐ Semivolatiles
- ☐ Herbicides
- ☐ Carbamates
- ☐ Pesticides
- ☐ EDB
- ☐ Phase V SOC
- ☐ Diquat
- ☐ Endothall
- ☐ Glyphosate
- ☐ Dioxin

Other (specify):

- ☒ PFAS
- ☒ EPA 533
- ☐ EPA 537.1

Customer Signature

AJ Gary

Shipping/Delivery Date

1-26-26

Received By

Idyll

Date Received

1/28/26 1022

Samples submitted to Anatek Labs may be subcontracted to other accredited labs if necessary. This message serves as notice of this possibility.

Subcontracted analyses will be clearly noted on the analytical report.

Form COC04.01 - Eff 1 Aug 2020



ANATEK LABS, INC - Multi-state Certified, NELAC Accredited

□ 1282 Alturas Drive, Moscow ID 83843 208-883-2839 moscow@anateklabs.com EPA# ID00013

□ 1504 E Sprague Ste D, Spokane WA 99202 509-838-3999 spokane@anateklabs.com EPA# WA00169

Idaho Chain of Custody - Drinking Water Analysis

WATER SYSTEM

SEND REPORT TO

ADDRESS

CITY STATE ZIP

City of Bellevue Idaho
PO Box 825
Bellevue ID, 83313

Water System #

Phone Number

E-Mail

County

ID 50070007
208-314-7659
Gary Arca Coalfield@hotmail.com
Blaine

Sample Type	Sample Purpose
☒ Raw Water	☒ Compliance
☐ Distribution	☐ Investigative
☐ Plant Tap	☐ Other Purpose

Public Water System Jurisdiction
A copy of the report to be sent to:

Twin Falls Doc

Payment due with samples, unless credit has been established

Sample Collection Location

Chestnut Well

Well Tag #

A0069264

Date & Time Collected

1-26-24 1315

Sampler Name

AS Gray

Sampler Signature

[Signature]

Receiving Check List

- | | |
|---|---------------------------------------|
| ☐ Received Intact | ☐ No Headspace |
| ☐ Labels & Chains Agree | ☐ Temp: _____ |
| ☐ Ice/Ice-Packs Present: _____ | |
| ☐ Custody Seals Present: _____ | |
| ☐ Preservatives: _____ | |

Check Desired Analyses

IOCs

- ☐ Sodium ☐ Fluoride ☐ Nitrate ☐ Nitrite
☐ Phase II IOC Metals
☐ Phase V IOC Metals
☐ Primary IOC Package with Cn Waiver
☐ Secondary/Optional IOC Package
☐ Complete IOC Package
☐ Cyanide

☐ Asbestos

VOCs & DBPs

- ☐ VOC
☐ TTHM
☐ HAA5
☐ TOC
☐ Alkalinity
RADs
☐ Gross Alpha
☐ Gross Beta
☐ RAD 226
☐ RAD 228
☐ Uranium

SOCs

- ☐ Phase II SOC
☐ Semivolatiles
☐ Herbicides
☐ Carbamates
☐ Pesticides
☐ EDB
☐ Phase V SOC
☐ Diquat
☐ Endothall
☐ Glyphosate
☐ Dioxin

Other (specify):

- ☒ PFAS
☒ EPA 533
☐ EPA 537.1

Customer Signature

Shipping/Delivery Date

[Signature]
1-26-24

Received By

Date Received

[Signature]
1/28/24 1022

Samples submitted to Anatek Labs may be subcontracted to other accredited labs if necessary. This message serves as notice of this possibility.

Subcontracted analyses will be clearly noted on the analytical report.

Form COC04.01 - Eff 1 Aug 2020



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1504 E Sprague Ste D, Spokane WA 99202 509-838-3999 spokane@anateklabs.com EPA# WA00169

Idaho Chain of Custody - Drinking Water Analysis

WATER SYSTEM

SEND REPORT TO

ADDRESS

CITY STATE ZIP

CITY OF Bellevue IDAHO
PO Box 825
Bellevue, ID 83313

Water System #

Phone Number

E-Mail

County

ID 50070004
208-316-7659
GrayARRA@GolfChatman.com
Blaine

Sample Type	Sample Purpose
☒ Raw Water	☐ Compliance
☐ Distribution	☐ Investigative
☐ Plant Tap	☐ Other Purpose

Public Water System Jurisdiction

A copy of the report to be sent to:

Twain Falls DEG

Payment due with samples, unless credit has been established

Sample Collection Location

Charitelle Well

Well Tag #

A0018529

Date & Time Collected

1-26-26 1245

Sampler Name

AJ Gray

Sampler Signature

[Signature]

Receiving Check List

- | | |
|---|---------------------------------------|
| ☐ Received Intact | ☐ No Headspace |
| ☐ Labels & Chains Agree | ☐ Temp: _____ |
| ☐ Ice/Ice-Packs Present: _____ | |
| ☐ Custody Seals Present: _____ | |
| ☐ Preservatives: _____ | |

Check Desired Analyses

IOCs

☐ Sodium ☐ Fluoride ☐ Nitrate ☐ Nitrite

☐ Phase II IOC Metals

☐ Phase V IOC Metals

☐ Primary IOC Package with Cn Waiver

☐ Secondary/Optional IOC Package

☐ Complete IOC Package

☐ Cyanide

☐ Asbestos

VOCs & DBPs

☐ VOC

☐ TTHM

☐ HAA5

☐ TOC

☐ Alkalinity

RADs

☐ Gross Alpha

☐ Gross Beta

☐ RAD 226

☐ RAD 228

☐ Uranium

SOCs

☐ Phase II SOC

☐ Semivolatiles

☐ Herbicides

☐ Carbamates

☐ Pesticides

☐ EDB

☐ Phase V SOC

☐ Diquat

☐ Endothall

☐ Glyphosate

☐ Dioxin

Other (specify):

☒ PFAS

☒ EPA 533

☐ EPA 537.1

Customer Signature

Shipping/Delivery Date

[Signature]
1-26-26

Received By

Date Received

[Signature]
1/28/26 1022

Samples submitted to Anatek Labs may be subcontracted to other accredited labs if necessary. This message serves as notice of this possibility.

Subcontracted analyses will be clearly noted on the analytical report.

Form COC04.01 - Eff 1 Aug 2020

Cooler Temperature

Read (°C): 0.1
Corrected (°C):
Thermometer Used: IR-4 IR-6

TAT: Normal RUSH: _____ days

Custody Seal on Cooler/Box: Yes No Custody Seals Intact: Yes No N/A

Packing Material: Bubble Wrap ☒ Bags ☐ Foam/Peanuts ☐ Paper ☐ None ☐ Other: _____

Comments

PSD NH4Ac (2545) 533 x 9 FB: 2542

Notes, comments, etc. (also use this space if contacting the client - record names and date/time)

Received/Inspected By: VVF Date/Time: 1/23/26 1022



Memorandum

To: City of Bellevue Common Council

From: Chris Johnson, Public Works Director

Re: Water Project Update and Final Facility Plan Approval

Date: 13 April 2026

Overview

Due to availability and scheduling conflicts with the City's bond counsel, additional time is needed to allow them to thoroughly review and respond to the questions and concerns raised by Council members regarding the amended Drinking Water Facility Plan. To ensure the Council receives complete and well-considered information, staff requests that this agenda item be continued to a later date.

Recommendation and Next Steps

I recommend that the Common Council approve a motion to continue the presentation and discussion of the amended Drinking Water Facility Plan to a date certain of **April 27, 2026**.



Memorandum

To: Bellevue Common Council

From: Christina Giordani, Mayor
Greg Beaver, Fire Chief

Re: Resolution #26-12 Declaring a Ban on Fireworks Until Dec. 1, 2026

Date: April 13, 2026

Background

Idaho Code Section 39-2609(4) allows cities to ban the use of fireworks within their boundaries if a severe fire threat is shown to exist.

Abnormally warm and dry conditions plagued the 2025-2026 winter season and appear to be persisting. These climatic conditions have resulted in a severely limited snowpack, led vegetation within the City Limits and in neighboring natural areas to become dry earlier than typical, and are more than likely to expand the potential for fires. During a time of severe fire risk, drought, and heat, we believe it prudent to protect Bellevue's residents and property by banning the use of fireworks within City Limits from April 15, 2026 to December 1, 2026 and imposing penalties for violations.

Recommendation

The Council should vote to approve Resolution 26-12.

Enclosures

1. Resolution 26-12

**CITY OF BELLEVUE
RESOLUTION NO. 26-12**

**A RESOLUTION OF THE MAYOR AND COMMON COUNCIL OF
THE CITY OF BELLEVUE, IDAHO, PURSUANT TO IDAHO CODE SECTION 39-
2609(4), DECLARING A BAN ON THE USE OF FIREWORKS WITHIN THE CITY
LIMITS OF THE CITY OF BELLEVUE DUE TO SEVERE FIRE THREAT**

WHEREAS, Idaho Code Section 39-2609(4) makes it unlawful for any person to use fireworks in an area that constitutes a severe fire threat based on vegetative conditions during the current fire season; and

WHEREAS, Idaho Code Section 39-2609(4) authorizes the Common Council and Mayor to make a determination that a severe fire threat exists; and

WHEREAS, low precipitation, low snowpack, above-normal temperatures, and drought conditions have been present throughout the 2025-2026 winter; and

WHEREAS, these climatic conditions are more than likely to lengthen the 2026 fire season and heighten risks of fire within the Wood River Valley and the City; and

WHEREAS, Idaho Code Section 39-2609(4) defines “fireworks” as any combustible or explosive composition, or any substance or combination of substances, or article prepared for the purpose of producing a visible effect by combustion, explosion, deflagration or detonation. “Fireworks” include items classified as common or special fireworks by the United States Bureau of Explosives or contained in the regulations of the United States Department of Transportation and designated as UN 0335 1.3 or UN 0337 1.4G. The term “fireworks” shall not include any automotive safety flares, toy guns, toy cannons, party poppers, pop-its, or other devices which contain twenty-five hundredths (0.25) of a grain or less of explosive substance.

NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND COMMON COUNCIL OF THE CITY OF BELLEVUE, IDAHO, AS FOLLOWS:

Section 1: That a severe fire threat exists sufficient to institute a Fireworks Ban within the entirety of the City Limits of Bellevue between April 15, 2026 and December 1, 2026.

Section 2: That any person found to be in violation of Idaho Code §39-2609(4) may be charged with an infraction and punished by a penalty not to exceed \$300.00.

PASSED AND ADOPTED by the City of Bellevue Common Council, Idaho, this 13th day of April 2026.

Christina Giordani, Mayor

ATTEST:

Amy Phelps, City Clerk



Memorandum

To: Bellevue Common Council

From: Christina Giordani, Mayor

Re: Appointment of Carter Bullock to the Bellevue Parks Committee as a Non-Voting Member and Staff Representative

Date: April 13, 2026

Background

Bellevue City Code Section 7-4-3(B) requires that a representative from the City Staff be appointed to the Bellevue Parks Committee as a non-voting member. In the past, many Staff members have dutifully served the Parks Committee as “liaisons;” however, it is not clear that the procedure required by 7-4-3(B) has been followed. As part of a larger effort to ensure that our codes, procedures, and actions are aligned, I have recommended that the City follow codified procedure and officially appoint future Staff representatives to the Parks Committee.

I have selected Carter Bullock, Planner, as my nomination for Staff representative to the Parks Committee. For the past three months he has been serving as “liaison” to the Committee and has prepared minutes, assisted with composing agendas, composed packets, and posted meeting recordings. I simply recommend that the Common Council make this work, and position, official.

Recommendation

The Council should vote to confirm the appointment of Mr. Bullock to the Parks Committee as a non-voting member.

Enclosures

1. Resolution 26-11

**CITY OF BELLEVUE
RESOLUTION NO. 26-11**

**A RESOLUTION OF THE MAYOR AND COMMON COUNCIL OF
THE CITY OF BELLEVUE, IDAHO, CONFIRMING THE APPOINTMENT OF
CARTER BULLOCK, A STAFF MEMBER OF THE CITY OF BELLEVUE, TO THE
BELLEVUE PARKS COMMITTEE AS A NON-VOTING MEMBER**

WHEREAS, the Mayor of the City of Bellevue, by and with the advice and consent of the Bellevue Common Council, is responsible for appointing one (1) representative from the City of Bellevue Staff to serve as an ad hoc, non-voting member Parks Committee pursuant to Bellevue Code Section 7-4-3(B); and,

WHEREAS, Mr. Bullock has shown interest in serving the Committee and providing assistance to the Committee's work wherever needed; and

WHEREAS, the Committee benefits from consistent consideration and time allocation from Staff, especially for the purpose of composing minutes, posting notices, and preparing informational packets to support the business of the Committee.

NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND COMMON COUNCIL OF THE CITY OF BELLEVUE, IDAHO, AS FOLLOWS:

Section 1: That the above statements are true and correct.

Section 2: That the Mayor and Common Council, confirm and appoint the following individual to the Parks Committee as a non-voting member for an indefinite period.

Carter Bullock, Planner

Section 3: That the above individual shall forfeit membership on the Committee in the case that they cease to be employed by the City of Bellevue or a different Staff member is appointed and confirmed for the same role.

Section 4: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED AND ADOPTED by the City of Bellevue Common Council, Idaho, this 13th day of April 2026.

Christina Giordani, Mayor

ATTEST:

Amy Phelps, City Clerk



Memorandum

To: Bellevue Common Council

From: Amy Phelps, City Clerk

Re: Villarreal Idaho Academy – Youth Soccer - Fee waiver and early start request

Date: April 13, 2026

Summary:

On March 25th, the City received an application from Luis Monjaras of Villarreal Idaho Soccer requesting to reserve O'Donnel Park and seeking a fee waiver for youth soccer Academy from April 20th to October 24th, 2026. However, according to Resolution No. 25-10, O'Donnel Park shall not be reserved between November 1 and April 30 without approval of Bellevue Common Council. The group anticipates approximately 40 participants and plans to use the Soccer Field Monday through Friday from 5pm to 8pm during the listed dates above. The total due for this application is 1,560.00.

Motion:

Move to approve/deny a fee waiver request for Villarreal Idaho Soccer from April 20 (or May 1) through October 24, 2026.

Enclosures

1. O'Donnel Park Application
2. Fee Waiver Application
3. Resolution No. 25-10 for reference

Event Information

Event Name (this is a custom event)

Villarreal Idaho Soccer

Start and End Dates

04/20/2026 - 10/24/2026

Location

Dates

04/20/2026 - 06/20/2026

5:00 pm - 8:00 pm

Setup: 5:00 pm

Takedown Complete: 8:30 pm

06/22/2026 - 08/22/2026

5:00 pm - 8:00 pm

Setup: 5:00 pm

Takedown Complete: 8:30 pm

08/24/2026 - 10/24/2026

5:00 pm - 8:00 pm

Setup: 5:00 pm

Takedown Complete: 8:30 pm

Application Review Status

Final-Review

Not Reviewed

Date Submitted

03/18/2026

Fees

O'Donnell Soccer Fee - Season	\$1,560.00
Subtotal	\$1,560.00
Amount Paid	\$0.00

Payments

There are no payments

Application Form Data

(Empty fields are not included)

Location (select all that apply)

O'Donnell Park - Soccer Field

O'Donnell Reservation Length

Season (3 Months)

Is this reservation for a tournament?

No

Are you requesting a Waiver of Park Fees?

Yes

Applicant First Name

Luis

Applicant Last Name

Monjaras

Contact Email

villarrealidahoacademy@gmail.com

Contact Phone

(208) 450-9848

Mailing Address

POBox 4152

City

Hailey

State

ID

Zip Code

83333

Is this event hosted by an organization?

Yes

Organization Name

Villarreal Idaho Academy

Is this a non-profit organization?

Yes

Reservation Name

Villarreal Idaho Academy Club Practice/Games

Event Description

Youth Soccer Practice

Estimated Attendance

40

Are you requesting a fee waiver?

Yes

Upload Fee Waiver

 **ODonnell Park fee waiver.docx**

Upload Drivers License and 503(c) Documentation

 **Villarreal Articles of Incorp..pdf**

 **IMG_7768.jpeg**

Attach any additional files or documents

 **25-26 Liab-Ins_Villarreal.pdf**

Signature

I agree that the facts stated in this application are true, and upon changes I will provide notification as needed.

Electronically Signed

Luis Monjaras - Invalid date

Messages

03/18/2026 16:01 pm - Applicant

I will bring in a check to pay and avoid any card fees.

Comments:

03/18/2026 16:13 pm - Amy Phelps

Thank you for your Park Reservation Application. You can find the fee waiver application here:

<https://app.civicreview.com/application/697797f10473feaebd7d5065>

Thank you

Application Review Status

Final-Review

Not Reviewed

Date Submitted

03/26/2026

Fees		Payments
Park Fee Waiver Application Fee	\$30.00	There are no payments
Subtotal	\$30.00	
Amount Paid	\$0.00	

Application Form Data

(Empty fields are not included)

Applicant First Name

Luis

Applicant Last Name

Monjaras

Applicant Email

villarrealidahoacademy@gmail.com

Applicant Phone

(208) 450-9848

Mailing Address

Pobox 4152

City

Hailey

State

ID

Zip Code

83333

Event Name

Villarreal Idaho Academy

Event Start Date

04/20/2026

Event End Date

11/27/2026

Event Description & Purpose

Soccer club practices

Park Requested:

O'Donnell

Is this event open to the general public?

No

Does the activity of requested event directly benefit the residents of the City of Bellevue?

Yes

Is the organization a Bellevue based non-profit organization with a valid 501(c)(3)?

Yes

Do you agree to provide for clean-up at the end of the event?

Yes

Signature

I agree that the facts stated in this application are true, and upon changes I will provide notification as needed.

Electronically Signed

Luis Monjaras - 03/26/2026 12:56 pm

RESOLUTION NO. 25-10

A RESOLUTION OF THE CITY OF BELLEVUE, IDAHO ESTABLISHING ADDITIONAL RULES FOR MANAGEMENT OF BELLEVUE CITY PARKS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Bellevue City Code Section 7-4-3 establishes a Bellevue Park and Tree Committee with a purpose to enhance the beauty, vitality, and sense of community of the City of Bellevue by providing a variety of parks and recreational opportunities; and

WHEREAS, efficient and equitable management of parks is essential to providing quality experiences for all users; and

WHEREAS, Bellevue City Code Section 7-4-3(E)(2) charges the Bellevue Park and Tree Committee with making recommendations to the Bellevue Common Council regarding planning, management, administration, information/education and monitoring of City parks; and

WHEREAS, the Bellevue Park and Tree Committee has investigated best practices for park reservations, fees, and rules; and

WHEREAS, the Bellevue Park and Tree Committee has recommended the additional rules below for adoption by the Bellevue Common Council; and

WHEREAS, the Bellevue Common Council is authorized by Bellevue City Code Section 7-3-17 to establish additional rules and regulations for the use and operation of City parks by resolution.

NOW, THEREFORE, it is hereby resolved by the Common Council of the City of Bellevue, Idaho as follows:

Section 1: The Common Council hereby establishes the following rules for seasonal events:

- 1) Starting on January 1, 2026, all permit applications for seasonal events (as defined in Bellevue City Code Section 7-3-1) shall be submitted to the City between January 1 and March 1 of each calendar year. In addition to the criteria established by Bellevue City Code Section 7-3-14, the City Clerk shall review permit applications based on the following criteria:
 - a) The applicant's proposed maintenance plan to ensure that unreasonable damage does not occur to the park.
- 2) Prior to the issuance of a seasonal event permit, the applicant shall meet with the City Clerk to review park rules and regulations.
- 3) The City Clerk reserves the right to schedule maintenance days at the park where no reservations will be made and/or limit the number of reservations in a day.
- 4) The City Clerk reserves the right to cancel specific reservations when damage to park facilities is likely to occur due to heavy rains or other weather events.
- 5) Seasonal use permits shall not be granted between November 1 and April 30 without approval of the Bellevue Common Council.

- 6) Where appropriate, the City Clerk is authorized to delegate duties to other City departments.
- 7) In addition to the penalties established by Bellevue City Code Section 7-3-19, failure to comply with park rules and/or terms of permit issuance may result in ineligibility to apply for future permits.

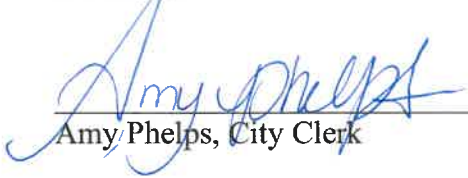
(1) Section 2: This Resolution shall take effect and be in force immediately upon its passage and approval.

PASSED BY THE COMMON COUNCIL AND APPROVED BY THE MAYOR THIS 24th DAY OF MARCH, 2025.



Christina Giordani, Mayor

ATTEST:



Amy Phelps, City Clerk



Memorandum

To: Bellevue Common Council

From: Brian Parker, Community Development Director

Re: Howard Preserve: Resolution No. 26-09

Date: April 13, 2026

At their February 23, 2026 meeting, the Bellevue Common Council voted to adopt Resolution 26-09 to temporarily suspend event reservations at the Howard Preserve for up to three months to allow for an update to the Howard Preserve Management Plan. Staff, the Wood River Land Trust, and the Friends of the Howard Preserve have been working on the plan update since then. Upon reviewing the process and schedules of the boards and advisory committees involved (the three partners mentioned above plus the Bellevue Parks Committee and the Triangle Irrigation District), it is apparent that three months is inadequate. The attached resolution supersedes the previous one and suspends events until October 1, 2026.

Suggested Motion:

I move to approve Resolution No. 26-13 temporarily suspending park reservations at the Howard Preserve until an updated Howard Preserve Management Plan is adopted.

**RESOLUTION NO. 26-13
CITY OF BELLEVUE**

**A RESOLUTION OF THE CITY OF BELLEVUE, IDAHO, TEMPORARILY SUSPENDING
PARK RESERVATIONS AT THE HOWARD PRESERVE UNTIL AN UPDATED HOWARD
PRESERVE MANAGEMENT PLAN IS ADOPTED BY THE BELLEVUE COMMON COUNCIL**

WHEREAS, the City of Bellevue owns and manages the Howard Preserve as a protected open space for the benefit of the public; and

WHEREAS, the Howard Preserve is currently governed by a management plan adopted in 2017, which contemplates limited event use of the Preserve; and

WHEREAS, the City works in partnership with the Friends of the Howard Preserve and the Wood River Land Trust, entities that assist in the stewardship and governance of the Howard Preserve; and

WHEREAS, temporarily suspending park reservations at the Howard Preserve during the review and update of the management plan will protect the Preserve and ensure consistency in its management;

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COMMON COUNCIL OF THE CITY OF BELLEVUE, IDAHO:

Section 1. **Temporary Suspension of Reservations.** All reservations and permitted event uses at the Howard Preserve are hereby temporarily suspended.

Section 2. **Duration of Suspension.** This suspension shall remain in effect until the earlier of either the adoption of an updated Howard Preserve Management Plan by the Bellevue Common Council or October 1, 2026.

Section 3. **Administration.** City staff is directed to refrain from accepting or approving reservations or event permits for the Howard Preserve during the suspension period and to proceed with efforts to review and update the Howard Preserve Management Plan.

Section 4: This resolution supersedes and replaces Resolution 26-09.

Section 4. **Effective Date.** This Resolution shall take effect immediately upon its adoption.

PASSED AND ADOPTED by the Mayor and Common Council of the City of Bellevue, Idaho, this 13th day of April, 2026.

Christina Giordani, Mayor

ATTEST

Amy Phelps, Clerk



April 6, 2026

Kristin Fletcher
200 N 4th Street
Bellevue, Idaho 83313

RE: International Dark Sky Week Proclamation

Dear Mayor Giordani,

I am writing to ask for your support in protecting dark skies by declaring “Central Idaho International Dark Sky Week,” April 13-20, 2026. I have enclosed a sample proclamation language to facilitate this action.

In the United States and Europe, 99% of people live under a light-polluted sky; globally, it is a third of the entire population, yet few are aware of its impact. The damage of artificial light at night goes far beyond blocking our view of the stars and disrupting wildlife's migratory patterns. Its significant impacts on human health and quality of life warrant far more attention. They are often overlooked or falsely written off as the cost of keeping a community safe despite a lack of evidence that brighter is better.

Light pollution is destroying natural darkness with severe consequences. Scientists link light pollution to global insect decline, the death of millions of migrating birds, increased carbon emissions, and disease.

International Dark Sky Week raises awareness of light pollution and provides solutions to protect dark skies while enjoying quality outdoor lighting. International Dark Sky Week 2025 was a huge success, highlighted by proclamations from Miami-Dade County, Colorado, Utah, and Michigan, as well as many other states and regions around the world. Proclamations for 2026 are currently underway.

International Dark Sky Week events will be celebrated across the globe to help raise awareness of the benefits of community-friendly lighting and our heritage of dark skies.

I hope you will consider my request for a city proclamation for International Dark Sky Week, and wish you the very best in your efforts to highlight Bellevue's commitment to the beloved Central Idaho Dark Sky Reserve. Please feel free to reach out with any follow up questions.

With warm regards and gratitude,

Kristin Fletcher
208-721-2583
Naturewalker7@gmail.com

City of Bellevue
International Dark Sky Week Proclamation
April 13-20, 2026

WHEREAS, the aesthetic beauty and wonder of a natural night sky is a shared heritage of all humankind; and

WHEREAS, light pollution has scientifically established economic and environmental consequences, which result in significant impacts on the ecology and human health of all communities; and

WHEREAS, 80 percent of the world's population, including many people in Idaho, lives under a dome of light pollution—excessive artificial lighting at night that disrupts natural darkness—and may never experience the visual wonder or ecological and health benefits of living under a dark sky; and

WHEREAS, light pollution represents a waste of natural resources amounting to roughly \$3 billion per year of wasted energy in the United States and contributes to diminished energy security; and

WHEREAS, Dark Sky International, the globally recognized authority on light pollution, recognizes International Dark-Sky Week to raise awareness of the effects of light pollution, provide free education, resources, and solutions to the public, and encourage the protection of and enjoyment of dark skies and responsible outdoor lighting.

NOW, THEREFORE, The Mayor and Common Council of Bellevue, Idaho do hereby declare April 13-20, 2026 as International Dark-Sky Week and ask each resident to join us not only in observing and pondering upon this important week, but also in raising awareness and support for protecting our precious dark sky as a resource.

Dated this 13th day of April 2026.

Christina Giordani, Mayor

We're missing
a bit on the
left side!

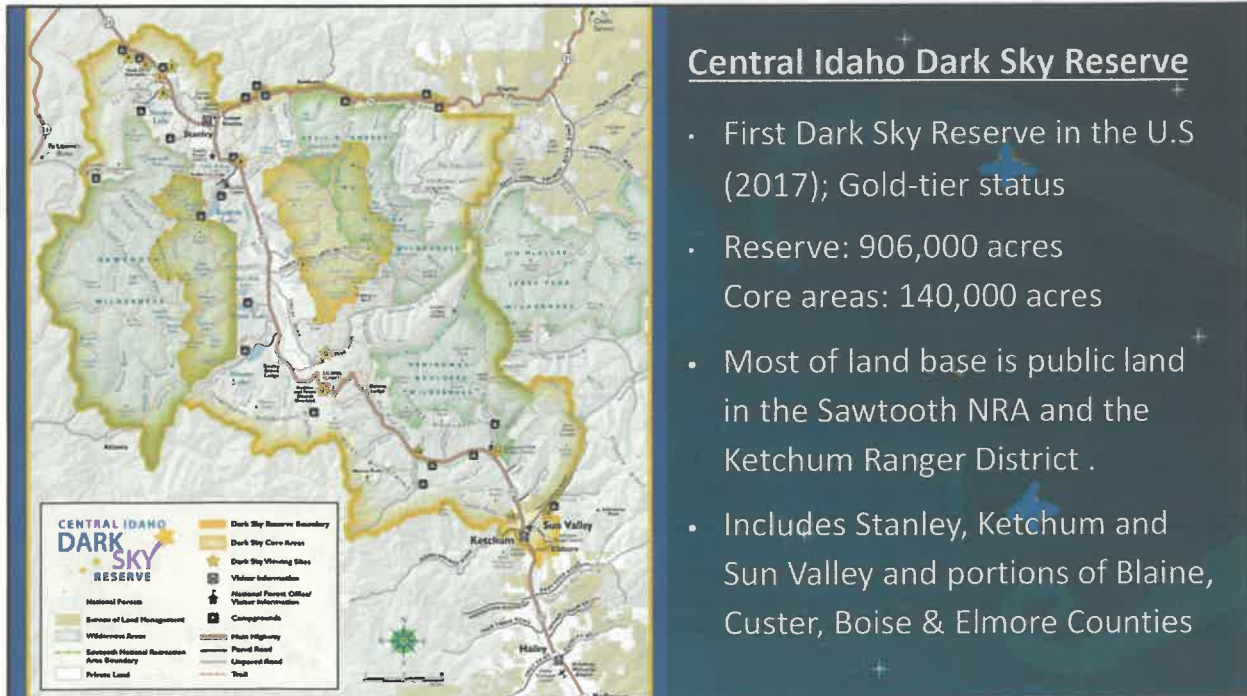
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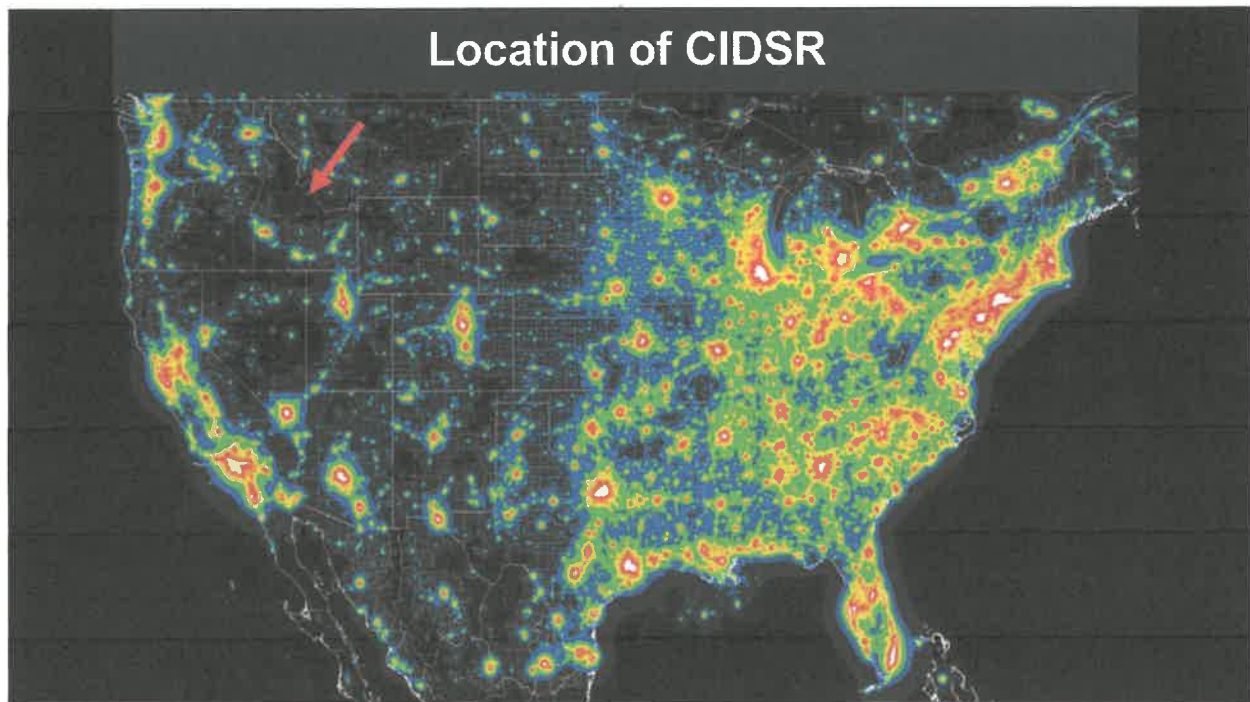
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1



2



3



4

Light Pollution Impacts



5

Ecological Impacts



Moths drawn to stadium lights



Artificial light alters seasonal timing in crops

Sea Turtle attracted to light



6

Human Health Impacts

Circadian Rhythm Disruption

- ❖ Prevents sleep and worsens the sleep we do get
- ❖ Can increase rates of certain cancers and worsen immune system health



7

Astronomical/Cultural Impacts

- ❖ Light pollution limits visibility of the sky
 - Observatory and astronomical research
 - Cultural and spiritual relationships
- ❖ Awareness of stars
 - Young people are not able to look up and wonder



8

How We Protect Night Skies

- ❖ Dark Sky Reserves!
- ❖ Spreading the word
- ❖ Shielding
- ❖ Limiting lighting
- ❖ Monitoring
- ❖ Lighting control policies



9

LIGHT TO PROTECT THE NIGHT

Five Lighting Principles for Responsible Outdoor Lighting



1 Useful



Use light only if it is needed

2 Targeted



Direct light so it falls only where it is needed

3 Low Level



Light should be no brighter than necessary

4 Controlled



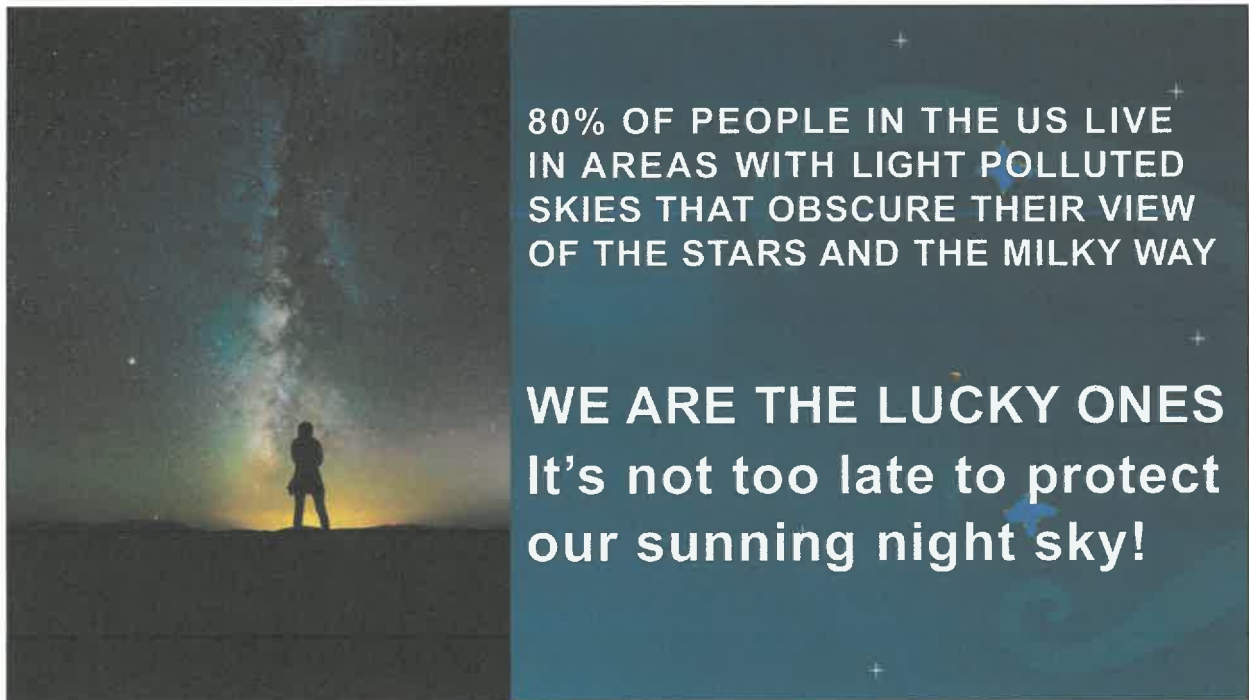
Use light only when it is needed

5 Color



Use warmer color lights where possible

10



11



Look up. Be Amazed.

Idaho Dark Sky Alliance
 PO Box 4903 Ketchum, ID 83340
www.idahodarksky.org
 208-352-3153
info@idahodarksky.org

Here in the heart of Idaho, we celebrate the pristine night sky as part of our heritage and a treasure worth preserving for our children and future generations. Looking up at the night sky filled with brilliant stars, planets and the Milky Way is always a truly amazing experience.

The Idaho Dark Sky Alliance is a nonprofit 501(c)(3) organization established in 2020. Our mission is to *protect the night sky and reduce light pollution in the Central Idaho Dark Sky Reserve through education and advocacy*. The IDSA Board works with local cities, counties, agencies and other organizations to coordinate day-to-day operations and fundraising for dark sky efforts within the Reserve.

The **Central Idaho Dark Sky Reserve** was designated in 2017 by DarkSky International as the first Dark Sky Reserve in the U.S. It encompasses 906,000 acres (1,416 sq mi) in Blaine and Custer Counties. Much of the Reserve is located within the Sawtooth National Recreation Area and includes the communities of Stanley, Ketchum and Sun Valley. The designation was based on two decades of planning efforts and wise policy decisions by city and county leaders, local businesses and organizations, and public land managers. Working together, these partners continue to focus on preserving the quality of the night-time environment and reducing the impact of light pollution in the area.

Dark Sky Facts:

- More than 80 percent of people in the United States live in areas where light pollution obscures their view of the night sky and the Milky Way. It is critical for us to protect places that still have truly dark skies. We're lucky that Idaho has many areas with spectacular views of the night sky.
 - Light pollution is defined as the inappropriate or excessive use of artificial light and has serious health and environmental consequences for humans, wildlife, and ecosystems.
 - Approximately 35 percent of outdoor lighting is wasted by using unshielded or unnecessary lighting. This wastes approximately \$3 billion worth of energy per year.
 - Many birds and other wildlife are nocturnal and use the moon and stars for navigation. Excessive artificial light at night disrupts migration, hunting and feeding patterns, and other critical behaviors
-



FP-25-02

Staff Report

TBD Lewis Lane

Bellevue Planning & Zoning Commission

April 13, 2026

Lots 1A, 2A, and
3A, Block 96
Final Plat

Executive Summary

Description

A final plat to reconfigure the existing six (6) parcels into three (3) parcels. The property is zoned B – Business. The preliminary lot line adjustment was approved by the Bellevue Common Council on July 14, 2025.

Discussion

- The applicant is requesting to reconfigure the existing six (6) parcels located on the subject property into three (3) parcels.
 - o The proposed parcel identified as Lot 1A is 23,960 square feet, with an identified building envelope of approximately 2,000 square feet identified.
 - o The proposed parcel identified as Lot 2A is 17,790 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 7,000 square feet.
 - o The proposed parcel identified as Lot 3A is 18,017 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 6,700 square feet.
- The subject property is zoned B – Business. The subject property is adjoined by the Howard Preserve to the north and west, partially developed land to the east, an a vacant industrially zoned property to the south.

On July 14, 2025, the Bellevue Common Council approved the preliminary lot line adjustment for the subject application with the following conditions of approval:

Number	Condition	Status
1	No building shall encroach into the space between the top of the eastern bank (elevation of the street or alley) of the canal and east high water mark of the canal, unless otherwise allowed per Diversion 45 Right of Way Agreement. This Agreement shall be recorded prior to final plat recordation.	Not Applicable to this application
2	Prior to the issuance of a building permit for the proposed parcel identified on the submitted preliminary plat as Lot 1A, the applicant shall receive approval from the City and construct a suitable vehicular and pedestrian access to the property.	Not Applicable to this application

Number	Condition	Status
3	Prior to the submittal of a final plat application, the applicant shall construct all required improvements, including improving the roadway within right-of-way to the east of the subject property from Walnut Street to Chestnut Street to the specifications provided in the Alley Improvements Exhibit provided by the applicant, except that the roadway shall be paved with asphalt.	Satisfied with bonding
4	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying an easement for the Bellevue Canal District and documentation that the proposed easement has been reviewed and accepted by the Bellevue Canal District.	Satisfied
5	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying the ordinary high water mark and a twenty foot (20') wide fisherman's easement along the landward side of the ordinary high water mark.	Satisfied
6	No construction or grading shall occur until the Bellevue City Engineer has reviewed and approved the construction drawings.	Complete
7	Prior to the submittal of a final plat application, the applicant shall provide a recorded memorandum of intent that the property owner and the Wood River Land Trust will enter into an Option to Purchase Agreement for the purchase of the property identified on the preliminary plat as Lot 1A.	Satisfied
8	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat with a note stating "Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report."	Satisfied

Project Location



Project Analysis

Description

A final plat to reconfigure the existing six (6) parcels into three (3) parcels. The property is zoned B – Business. The preliminary lot line adjustment was approved by the Bellevue Common Council on July 14, 2025.

Legal Description

Lots 1-6, Block 96, Original Plat of Bellevue Townsite, located within Section 36, Township 2 North, Range 16 East, B.M., City of Bellevue, Blaine County, Idaho.

Associated Documents

Document Name	Receipt of Last Revision
Application	December 23, 2025
Final Plat	January 21, 2026
Letter from Triangle Irrigation and Wood River Irrigation District #45	January 21, 2026
Title Report	December 23, 2026
Memorandum of Understanding between Property Owner and Wood River Land Trust	February 6, 2026
Drywell Infiltration Test Results	December 23, 2026
Record Drawings	December 23, 2026
Bid for Outstanding Construction	December 23, 2026
Findings of Fact, Conclusions of Law, and Decision from LLA-25-01	July 14, 2025
Certificate of Action Taken by Wood River Valley Irrigation District #45	February 10, 2026
Planning & Zoning Commission Findings of Fact, Conclusions of Law, and Decision	March 16, 2026

Public Noticing

Notice	Date
Political Subdivisions	January 22, 2026
Property Owners within 300 feet	March 23, 2026
Site Posting	March 23, 2026
Publication in <i>Idaho Mountain Express</i>	March 25, 2026

Dimensional Standards

Standard	Required	Proposed
Minimum Lot Size	6,000 square feet	17,990 square feet
Minimum Lot Width	50 feet	149.98 feet

Required Findings Code Sections

Bellevue City Code Section 11-6-1: Procedure

An owner or subdivider wishing to readjust lot lines, as defined in section 11-2-1 of this title, shall be required to file two (2) copies of a plat and application with the Administrator for administrative review. Additional information reasonably required for thorough review of the application and plat may be required by the Administrator to be provided by the applicant. Waivers shall be requested according to chapter 13 of this title. The Council shall remand any application and/or waiver request to the commission for recommendation prior to taking final action. The Administrator shall provide written notice of said application to owners of property immediately adjacent to the subject property. Said notice shall inform adjacent property owners they may comment on the application during a period of not less than ten (10) days after mailing of the notice and prior to final action on said application. Following expiration of the said comment period and upon a finding by the Administrator that the plat conforms to the readjustment of lot line definition and is in compliance with the provisions of this title, the Administrator shall approve same or approve with conditions necessary to find same in compliance with the provisions of this title. Upon a finding by the Administrator that the application does not conform to said definition or is not in compliance with this title, the Administrator shall deny the application and shall state the reasons therefor in writing, and a copy signed by the Administrator, attached to one copy of the plat, shall be returned to the applicant. Upon Council approval of an application and upon satisfaction by the applicant of any conditions attached thereto, the Administrator shall inform the City Clerk and the City Clerk shall sign the plat. Any questions with regard to the interpretation and/or applicability of this section or other sections shall be referred to the Council by the Administrator for determination.

Bellevue City Code Section 11-3-4: Final Plat

- A. Procedure: After approval of the preliminary plat, the subdivider shall cause the subdivision to be surveyed and a final plat to be prepared in conformance with the preliminary plat as approved, and Idaho Code title 50, chapter 13. Upon completion of said final plat, the subdivider shall file same, together with the final plat application and all other documents required, with the Administrator including eight (8) copies thereof. Then the Administrator shall place said final plat on the commission's meeting agenda.

If the final plat conforms to all requirements of this title, other applicable ordinances and resolutions of the City, all conditions placed upon the preliminary plat by the Council, and all requirements of Idaho Code, the Commission shall recommend approval of said final plat to the Council. In the event that the Commission finds the final plat does not comply with this title

or other applicable ordinances and resolutions of the City or does not substantially conform to the approved preliminary plat, the Commission shall deny said final plat.

When submitted to the Administrator, the final plat shall bear all required certificates.

Thereafter, the Administrator shall place the final plat upon the Council's meeting agenda for a duly noticed public hearing.

- B. Contents Of Plat: The final plat shall be drawn at such a scale and shall be in conformance with the provisions of Idaho Code title 50, chapter 13. The reverse side of said sheet shall not be used for any portion of the drawing. The contents of the final plat shall include all items required under Idaho Code title 50, chapter 13, and shall also include:
1. Point of beginning of subdivision description tied to at least two (2) government survey corners, or in lieu of government survey corners, to monuments recognized by the City Engineer.
 2. Location and description of monuments.
 3. Tract boundary lines, property lines, lot lines, street right- of-way lines and centerlines, building envelopes as required on the preliminary plat, lot area of each lot, boundaries of the floodplain and floodway and the Avalanche District, all with bearings of accurate dimensions in feet and decimals thereof, in degrees and minutes, and radii, arcs, central angles, tangents, and chord lengths of all curves to the above accuracy.
 4. Names and locations of all adjoining subdivisions.
 5. Name and right-of-way width of each street and other public rights-of-way.
 6. Location, dimension, and purpose of all easements, public and private.
 7. The lots numbered consecutively throughout each block.
 8. The outline of any property other than a street, alley, or easement which is offered for dedication to public use, fully dimensioned by distances and bearings with the area marked "Dedicated to the City of Bellevue for Public Use", together with any other descriptive language with regard to the precise nature of the use of the land so dedicated.
 9. The title shall include the name of the subdivision, the name of the City, if appropriate, County and State, and the location and description of the subdivision referenced to section, township, and range.
 10. Scale, north arrow, and date.
 11. Location, width and names of all existing or dedicated streets and other public ways within or adjacent to the proposed subdivision.
 12. A provision in the owner's certificate referencing the County Recorder's instrument number where the condominium declaration(s) and/or Articles of Incorporation of the Homeowners' Association governing the subdivision are recorded.
 13. Certificate by a registered engineer or surveyor preparing the map certifying to the accuracy of surveying plat.
 14. A current title report of all property contained within the plat.
 15. Certification of the owner(s) of record and all holders of security interest(s) of record with regard to said property.
 16. Certification and signature of the engineer (surveyor) verifying that the subdivision and design standards meet all City requirements.
 17. Certification and signature of the City Engineer verifying that the subdivision and design standards meet all City requirements.
 18. Certification and signature of the City Clerk verifying that the subdivision has been approved by the Council.

19. Notation of any additional restrictions imposed by the Council on the development of said subdivision to provide for the public health, safety, and welfare.
 20. A copy of the recorded final plat.
 21. Two (2) sets of as built drawings, certified as complete by the project engineer, of all public streets, the public water system, the public sewer system and all utilities.
- C. Acceptance Of Dedications: Approval of the final plat by the Council shall constitute acceptance of all dedications for public streets, rights-of-way, easements, and other lands dedicated for public purpose or use as shown thereon. As a condition precedent to the acceptance of any streets or required improvements, the Council shall require that the subdivider install said improvements in accordance with the City or other applicable construction standards and that condition shall be noted on the final plat.
- D. Time Limitations: The failure to obtain final plat approval by the Council of an approved preliminary plat within one year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void. No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.
- E. Copies Of Plat:
1. Three (3) copies of the final plat shall be filed with the Administrator prior to being placed upon the commission's agenda. Three (3) copies of the final plat as approved by the Council and signed by the City Clerk shall be filed with the Administrator and retained by the City.
 2. The final plat shall show a minimum of two (2) Blaine County survey control monuments with ties to the property and an inverse between the two (2) monuments. The survey control monuments shall be clearly identified on the face of the plat.
 3. In addition to all other copies of the final plat required hereunder, an electronic CAD file shall be submitted to the Blaine County Recorder's Office concurrent with the recording of the final plat containing the following data:
 - a. The line work delineating all lots, parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and
 - c. Line work that reflects the ties and inverses for the survey control monuments shown on the face of the plat shall be shown on a CAD layer/level designated as "control".
 4. All information within the electronic file shall be CD oriented, and scaled to grid per the Idaho State Plane Coordinate System, Central Zone, NA D1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a "dwg", "dgn" or "shp" format and shall be submitted on a CD or a flash drive. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
 5. Any digital submittal will convey the rights to Blaine County, Idaho (herein also referred to as "Blaine County") for use within its GIS, and acceptance of digital data by Blaine County absolves the surveyor of any liability related to the electronic submittal as set forth by Blaine County in Blaine County resolution 2002-54.

6. The technical requirements of subsections E3, E4 and/or E5 of this section may, from time to time, be amended by resolution of the City Council.

Code Sections of Interest

Bellevue City Code Section 11-2-1: Rules of Word Construction; Definitions:

ALLEY: A minor public way providing secondary access to the back or the side of property otherwise abutting a street.

BUILDING ENVELOPE: The site for location of a structure delineated on a preliminary plat and final plat within which the entire building or other structures must be constructed.

EASEMENT: A grant by a property owner to a specific person(s) or the public right to use land for specific purpose(s). Also, such a right acquired by prescription.

FLOODPLAIN: The relatively flat area or low land adjoining the channel of a stream, river, lake or other body of water which is subject to the hazards and inundation of a 100-year frequency, as identified and defined in the Flood Insurance Study and Flood Boundary and Floodway Map prepared by the Federal Insurance Administration of the U.S. Department of Housing and Urban Development in conjunction with the U.S. Army Corps of Engineers.

LOT, BUILDABLE: A lot of sufficient size to meet minimum zoning requirements for use, coverage, and area and to provide such yards and other open spaces as are herein required. Structures shall only be built upon buildable lots.

READJUSTMENT OF LOT LINES: A change or modification of the boundary lines between existing lots or parcels of land or between dwelling units which does not reduce the area, frontage, width, depth, or building setback lines of such lots below the minimum zoning requirements and which does not create additional lots or dwelling units. Readjustment of lot lines is intended to include other minor changes to a subdivision, condominium or townhouse plat such as, but not limited to, notation changes, boundary shifts and removal of lot line(s), each of which does not reduce the area, frontage, width, depth, or building setback lines of each lot below the minimum zoning requirements nor create additional lots or dwelling units.

STANDARD SPECIFICATIONS: Specifications for design and construction of improvements as specified in this title or other ordinances or resolutions of the City of Bellevue or by any other governmental entity having jurisdiction thereover, including subsequent amendments or codifications.

STREET: A public right-of-way, which provides vehicular and pedestrian access to adjacent properties, the dedication of which has been officially accepted. The term street also includes the terms, highway, thoroughfare, parkway, road, avenue, boulevard, lane, place, and all such terms, except driveway, as herein defined.

WAIVER: Modification of a relevant provision and regulation of this title not contrary to public interest or public health, safety, or welfare, and due to physical characteristics of the particular parcel of land and not the result of actions of the subdivider where literal enforcement of this title would result in undue hardship. The granting of waiver(s) shall be upon written application, and the granting thereof rests with the sound discretion of the commission and Council, on a case by case basis.

Bellevue City Code Section 11-4-3: Performance Bond:

Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the City Engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the City Council may accept in lieu of any or all of the required improvements a performance bond filed with the City Clerk to insure actual construction of the required improvements as submitted and approved. Said performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the City Engineer. In the event the improvements are not constructed within the time allowed by the City Council (which shall be 1 year or less, depending upon the individual circumstances), the Council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the City for the additional costs thereof. The cost of installing required improvements that exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.

Bellevue City Code Section 11-4-6: Lots:

- A. Lot size, width, depth, shape, orientation, and minimum building setback lines shall be in compliance with the zoning district in which the property is located; and compatible with the location of the subdivision and the type of development; and preserve solar access to adjacent properties and buildings.
- B. Whenever a proposed subdivision contains lot(s) in whole or in part within the floodplain, or which contain land with a slope in excess of twenty five percent (25%) based upon natural contours, or create corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, provide open space and solar access for each lot and structure, and preserve hillside view corridors. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses, and topographical features.
- C. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the center point of the intersection of the streets unless otherwise approved as defined in subsection 10-6-5C of this Code.
- D. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.
- E. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts. Should a double frontage lot be created out of necessity, then such lot shall be a reversed frontage lot.
- F. Minimum lot sizes in all cases shall be reversed frontage lot(s).
- G. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public or approved private street.

Bellevue City Code Section 11-4-7: Blocks:

The length, width, and shape of blocks within a proposed subdivision shall conform to the following requirements:

- A. No block shall be longer than one thousand feet (1,000') nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.
- B. Blocks shall be laid out in such a manner as to comply with the lot requirements.
- C. The layout of blocks shall take into consideration the natural topography of the subdivision and minimize cuts and fills for roads and minimize adverse impact on the environment, watercourses, and topographical features.
- D. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.

Bellevue City Code Section 11-4-8: Streets:

- A. The arrangement, character, extent, width, grade, and location of all streets put in the proposed subdivision shall conform to the Comprehensive Plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land.
- B. All streets shall be constructed to meet or exceed the criteria and standards set forth in the City Standard Specifications for Streets and Water, and all other applicable ordinances, resolutions, or regulations of the City, or any other governmental entity having jurisdiction thereover, now existing or hereafter adopted, amended or codified.
- C. Where a subdivision abuts or contains an existing or proposed arterial street, railroad, or limited access highway right-of-way, the Council may require a frontage street, planting strip, or similar design features.
- D. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods.
- E. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven-tenths percent (0.7%) so as to provide for adequate drainage and snow plowing.
- F. In general, partial dedications shall not be permitted. However, the Council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the Council finds it practical to require the dedication of the remainder of the right-of-way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right-of-way shall be dedicated.
- G. Dead-end streets shall be permitted as deemed appropriate by the Council when providing for future connectivity to adjacent lands and are in compliance with International Fire Codes regarding turnarounds.
- H. A cul-de-sac or similar type street shall be permitted as deemed appropriate by the Council which complies with International Fire Codes regarding turnarounds.
- I. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°).
- J. Where any street deflects any angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets and one hundred twenty five feet (125') for minor streets.
- K. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited.
- L. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets.

- M. Proposed streets, which are continuations of existing streets, shall be given the same names as the existing streets. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to the Council for preliminary plat approval.
- N. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills.
- O. Street patterns of residential areas shall be designed to create areas free of through traffic but readily accessible to adjacent collector and arterial streets.
- P. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider.
- Q. In general, the centerline of streets shall coincide with the centerline of the street right-of-way, and all crosswalk markings shall be installed by the subdivider as a required improvement.
- R. Street lighting may be required by the commission or Council, where appropriate, and shall be installed by the subdivider as a requirement improvement.
- S. Private streets complying with the International Fire Codes shall be allowed as deemed appropriate by the Council.
- T. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City.
- U. Wherever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, said construction or improvement shall be a required improvement by the subdivider. Said construction or improvement shall be in accordance with adopted standard specifications therefor.
- V. Sidewalks, curbs, and gutters may be a required improvement installed by the subdivider.
- W. Prior to final plat signature, the first chip sealing applied to new dedicated streets and applicable private streets shall be completed by the developer or bonded for by the developer for any subdivision, planned unit development or condominium plat.

Bellevue City Code Section 11-4-9: Alleys

Alleys shall be provided in commercial and light industrial zoning districts, and may be required in residential districts. The width of an alley shall be not less than twenty five feet (25'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead-end alleys shall comply with the International Fire Codes regarding turnaround requirements. Improvement of alleys shall be done by the subdivider as a required improvement and in conformance with design standards specified in subsection 11-4-8B of this chapter.

Bellevue City Code Section 11-4-10: Easements:

Easements, as set forth hereinafter, shall be required for location of utilities and other public services to provide adequate pedestrian circulation and access to public waterways and lands:

- A. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all streets.

B. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain said watercourse and provide access for private maintenance and/or reconstruction of said watercourse.

C. All subdivisions which border the Big Wood River or any tributary shall dedicate a twenty foot (20') fisherman and unaltered riparian easement along the river bank. Furthermore, the Council shall require in appropriate areas an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.

D. All subdivisions which border on the Big Wood River or any tributary shall dedicate a one hundred foot (100') floodplain management easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.

E. All subdivisions through which appropriate access to public lands are found to exist shall dedicate reasonable public access easements thereto as part of the subdivision traffic circulation.

F. No ditch, pipe, or structure for irrigation water or irrigation wastewater shall be constructed, rerouted, or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights thereto. A written copy of such approval shall be filed as part of required improvement construction plans.

G. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City. Such improvements may be calculated towards required park land dedication requirements as set forth in the adopted Bellevue Parks Master Plan.

Bellevue City Code Section 11-4-16: Utilities

In addition to the terms mentioned hereinabove, all utilities including, but not limited to, electricity, natural gas, telephone, and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.

Bellevue City Code Section 12-5-1: General Standards:

In all Special Flood Hazard Areas the following provisions are required:

- A. A Riparian Protection Setback is hereby established one hundred feet (100') back from the mean high-water mark of the Bigwood River within the City. The following activities and improvements are prohibited within the Riparian Protection Setback:
 - 1. New Construction;
 - 2. Placement of structures, except fences and maintenance thereof;
 - 3. Placement of fill or dirt or other materials;
 - 4. Removal of any live vegetation, except for leaning or diseased trees that are hazardous of life or property (provided) the root balls shall not be removed in order to protect against

erosion of the river bank) with prior written confirmation of such condition by a certified Arborist unless a bona fide emergency to life or property exists, and noxious weeds;

5. Planting non-native vegetation, including grass, shrubs and trees;
6. Storage of materials and/or equipment before, during or after any construction or excavation on an adjacent area.

Exceptions:

1. Planting of native riparian vegetation;
 2. Maintenance of non-native grasses, shrubs and trees existing on the effective date of this title;
 3. Emergency bank stabilization activities pursuant to all required federal, state and City permits; and
 4. Construction of public roads, and of public utilities and other structures pursuant to all required by city, state and federal permits; and
 5. Maintenance of deed or dedicated public pathways, and the maintenance of existing private pathways, and the creation and maintenance of one private pathway on each parcel of land of not more than eight (8) feet in width down to the river.
- B. All new construction, substantial improvements, and development shall be designed (or modified) and adequately anchored to prevent flotation, collapse, and lateral movement of the structure.
 - C. All new construction, substantial improvements, and development shall be constructed with materials and utility equipment resistant to flood damage in accordance with the Technical Bulletin 2, Flood Damage-Resistant Materials Requirements, and available from the Federal Emergency Management Agency.
 - D. All new construction, substantial improvements, and development shall be constructed by methods and practices that minimize flood damages.
 - E. All new and replacement electrical, heating, ventilation, plumbing, air conditioning equipment, and other service facilities shall be designed and/or located so as to prevent water from entering or accumulating within the components during conditions offloading to the Flood Protection Elevation. These include, but are not limited to, HVAC equipment, water softener units, bath/kitchen fixtures, ductwork, electric/gas meter panels/boxes, utility/cable boxes, hot water heaters, and electric outlets/switches.
 - F. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system.
 - G. All new and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharges from the systems into flood waters.
 - H. On-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
 - I. A fully enclosed area, of new construction and substantially improved structures, which is below the lowest floor shall:
 1. Be constructed entirely of flood resistant materials at least to the Flood Protection Elevation; and
 2. Include, in Zones A, AE, AH, AO, and A1-30, flood openings to automatically equalize hydrostatic flood forces on walls by allowing for the entry and exit of floodwaters. To meet this requirement, the openings must either be certified by a professional engineer or architect or meet or exceed the following minimum design criteria:
 - a. A minimum of two (2) flood openings on different sides of each enclosed area subject to flooding;

- b. The total net area of all flood openings must be at least one (1) square inch for each square foot of enclosed area subject to flooding;
 - c. If a building has more than one enclosed area, each enclosed area must have flood openings to allow floodwaters to automatically enter and exit;
 - d. The bottom of all required flood openings shall be no higher than one foot (1') above the interior or exterior adjacent grade;
 - e. Flood openings may be equipped with screens, louvers, or other coverings or devices, provided they permit the automatic flow of floodwaters in both directions; and
 - f. Enclosures made of flexible skirting are not considered enclosures for regulatory purposes, and, therefore, do not require flood openings. Masonry or wood underpinning, regardless of structural status, is considered an enclosure and requires flood openings as outlined above.
- J. Any alteration, repair, reconstruction, or improvements to a structure, which is in compliance with the provisions of this ordinance, shall meet the requirements of "new construction" as contained in this title.
 - K. Nothing in this title shall prevent the repair, reconstruction, or replacement of a building or structure existing on the effective date of this title and located totally or partially within the floodway, flood fringe area, or stream setback, provided there is no additional encroachment below the Flood Protection Elevation in the floodway, flood fringe area, or stream setback, and provided that such repair, reconstruction, or replacement meets all of the other requirements of this title.
 - L. New solid waste disposal facilities and sites, hazardous waste management facilities, salvage yards, and chemical storage facilities shall not be permitted, except by variance as specified in subsection [12-4-5 I](#). A structure or tank for chemical or fuel storage incidental to an allowed use or to the operation of a water treatment plant or wastewater treatment facility may be located in a Special Flood Hazard Area only if the structure or tank is either elevated or floodproofed to at least the Flood Protection Elevation and certified in accordance with the provisions of subsection [12-4-3 C](#).
 - M. All subdivision proposals and other development proposals shall be consistent with the need to minimize flood damage and determined to be reasonably safe from flooding.
 - N. All subdivision proposals and other development proposals shall have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
 - O. All subdivision proposals and other development proposals shall have adequate drainage provided to reduce exposure to flood hazards.
 - P. All subdivision proposals and other development proposals shall have received all necessary permits from those governmental agencies for which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 USC § 1334.
 - Q. When a structure is partially located in a Special Flood Hazard Area, the entire structure shall meet the requirements for new construction and substantial improvements.
 - R. When a structure is located in multiple flood hazard zones or in a flood hazard risk zone with multiple base flood elevations, the provisions for the more restrictive flood hazard risk zone and the highest Base Flood Elevation (BFE) shall apply.

Comprehensive Plan Analysis

Chapter 5 – Land Use – Business (B)

Bellevue’s downtown and business area is linear and centered along State Highway 75 (Main Street) through the middle of the city. The business area is generally constrained to the west by the drop in slope toward the river and to the east by the original platting and residential development over the city’s nearly 135-year history. This land use area allows permitted businesses that include but are not limited to: business, professional, medical offices; public buildings, gas stations; restaurants, bars, theaters, banks, motels, tourist uses, retail outlets; public utilities, repair/personal services, storage, public parking lots and garages, car washes; and churches.

There are 65.271 acres in Bellevue classified as business as of September, 2015. This inventory includes: 138 lots ranging in size from 0.068 to 8.46 acres; 22 vacant lots totaling 16.273 acres; and 22 vacant lots totaling 16.273 acres; and 22 legally nonconforming properties on 8.292 acres that the City desires to be redeveloped for business purposes. Bellevue has in excess of 24.565 acres (or 37.6%) of business zoned property that is either vacant or under- developed.

Currently a mix of non-conforming uses exists within the business zone. These “grandfathered” uses are allowed to continue, although current zoning ordinances do not allow for expansion of these nonconforming uses.

The Bellevue Business Park on the north edge of town has expanded the business core with the addition of a large grocery store, bank, and garden center. As the business park has developed, this end of town has become a hub of activity. Sidewalks have made pedestrian circulation easier, safer, and more inviting.

Chapter 5 – Land Use – Objective 3:

Support recreation and open space uses when available and appropriate.

Actions

1. Investigate areas where such uses may be possible.
2. Ensure parks and open spaces complement adjacent zones and vice versa by addressing aesthetics and health and safety issues through design principles.
3. Maintain parks and open spaces for residents and visitors.
4. Identify and maintain non-motorized connections between parks and open spaces.
5. Maintain an appropriate open space visual separation between Bellevue and Hailey to preserve Bellevue’s unique identity and its rural small-town character

Chapter 6 – Natural Resources – Surface Water

Bellevue is in the Big Wood River watershed. The availability of water was a lure to early settlers and irrigation played a major role in city’s development. The Big Wood River runs the entire length of the Wood River Valley and eventually flows into Magic Reservoir, providing habitat for many species and recreation opportunities to residents and visitors. Affected by seasonal fluctuations in runoff from snowmelt, the annual peak flow is ordinarily reached the first week of June. The water year ends in September at the lowest flows. Thunderstorms may result in increased flow and turbidity. At the Howard Preserve, a diversion dam diverts water from the river into a canal system that runs approximately 34 miles to irrigate agricultural lands south of Bellevue. The Board of Control of the

Triangle Irrigation District and the Wood River Irrigation District #45 manages the dam and canal jointly. Typical annual diversion is 380 CFS, drawn April 15 to October 31.

Chapter 6 – Natural Resources – Objective 2:

Ensure that developments are designed to minimize impacts to wildlife habitat and river function along the Big Wood River.

Actions

1. Allow the natural meander of the Big Wood River and reinforce its banks only where necessary to protect existing infrastructure.
2. Stabilize river and stream banks with native riparian vegetation; rehabilitate existing vegetation within the 100-foot riparian non-disturbance area.
3. Evaluate and minimize vegetation removal within the 100-foot riparian non-disturbance area.
4. Follow state Best Management Practices for construction and rehabilitation actions undertaken within 100 feet of the stream.
5. Maintain perennial vegetative cover on soils to protect them from erosion.
6. Work with developers to ensure east/west migration corridors are preserved across the valley.

Chapter 10 – Recreation – Big Wood River Access

The Big Wood River is considered a navigable stream as defined by Idaho Code which allows the public to use such streams, provided entrances and exits adjacent to a public right of way. Public rights of way to the Big Wood River within the City include: Chantrelle Subdivision, Broadford Road Bridge, Howard Preserve (Elm Street/Martin Lane/Old City Park), and Riverside Ranch Subdivision. There are approximately 3.3 miles of trails in Bellevue leading to and along the Big Wood River. The trails connect Chantrelle Subdivision, Howard Preserve, and Riverside Ranch Subdivision.

Discussion

- The applicant is requesting to reconfigure the existing six (6) parcels located on the subject property into three (3) parcels.
 - o The proposed parcel identified as Lot 1A is 23,960 square feet, with an identified building envelope of approximately 2,000 square feet identified.
 - o The proposed parcel identified as Lot 2A is 17,790 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 7,000 square feet.
 - o The proposed parcel identified as Lot 3A is 18,017 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 6,700 square feet.
- The subject property is zoned B – Business. The subject property is adjoined by the Howard Preserve to the north and west, partially developed land to the east, and a vacant industrially zoned property to the south.

On July 14, 2025, the Bellevue Common Council approved the preliminary lot line adjustment for the subject application with the following conditions of approval:

Number	Condition	Status
1	No building shall encroach into the space between the top of the eastern bank (elevation of the street or alley)	Not Applicable to this application

Number	Condition	Status
	of the canal and east high water mark of the canal, unless otherwise allowed per Diversion 45 Right of Way Agreement. This Agreement shall be recorded prior to final plat recordation.	
2	Prior to the issuance of a building permit for the proposed parcel identified on the submitted preliminary plat as Lot 1A, the applicant shall receive approval from the City and construct a suitable vehicular and pedestrian access to the property.	Not Applicable to this application
3	Prior to the submittal of a final plat application, the applicant shall construct all required improvements, including improving the roadway within right-of-way to the east of the subject property from Walnut Street to Chestnut Street to the specifications provided in the Alley Improvements Exhibit provided by the applicant, except that the roadway shall be paved with asphalt.	Satisfied with bonding
4	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying an easement for the Bellevue Canal District and documentation that the proposed easement has been reviewed and accepted by the Bellevue Canal District.	Satisfied
5	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying the ordinary high water mark and a twenty foot (20') wide fisherman's easement along the landward side of the ordinary high water mark.	Satisfied
6	No construction or grading shall occur until the Bellevue City Engineer has reviewed and approved the construction drawings.	Complete
7	Prior to the submittal of a final plat application, the applicant shall provide a recorded memorandum of intent that the property owner and the Wood River Land Trust will enter into an Option to Purchase Agreement for the purchase of the property identified on the preliminary plat as Lot 1A.	Satisfied
8	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat with a	Satisfied

Number	Condition	Status
	note stating “Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report.”	

Comments

Agency/Department Comments

To date, Staff has received comment from the following agencies and departments:

- Bellevue Fire Department
- Bellevue Marshall’s Office
- Bellevue Water and Sewer Department
- Bellevue City Engineer
- Triangle Irrigation District

All agency comments received to date are attached for reference.

Public Comments

No public comments have been received to date.

Recommendations

Actions

At the March 16, 2026 meeting, the Planning & Zoning Commission adopted Findings of Fact, Conclusions of Law, and Decision documents recommending approval of the subject application with the conditions of approval included in this Staff Report.

Suggested Motion

“I move that we approve FP-25- with the conditions identified within the Staff Report, to adopt Findings of Fact, Conclusions of Law, and Decision documents reflecting this decision based on the record provided, and to authorize a performance bond in the amount of \$93,801.”

Conditions of Approval

1. Prior to recordation of the final plat, the applicant shall receive final engineering approval.
2. Prior to recordation of the final plat, the applicant shall provide an irrevocable performance bond in the amount of \$93,801 in accordance with the requirements of Bellevue City Code Section 11-4-3.
3. Prior to the release of the irrevocable performance bond, the applicant shall:
 - a. Complete the installation of outstanding improvements.
 - b. Receive approval and acceptance of all improvements by the City Engineer.
 - c. Provide final as-built plans and specifications of all installed improvements.

Notice of Expiration

Pursuant to Bellevue City Code Section 11-3-4(D), failure to obtain final plat approval by the Council of an approved preliminary plat within one (1) year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void. No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.

Pursuant to Bellevue City Code Section 11-4-3, the applicant shall complete all required improvements held by performance bonding within one (1) year after approval by the Council. Failure to complete improvements will result in the City completing the bonded improvements at the expense of the applicant.

CITY OF BELLEVUE

COMMON COUNCIL

REGARDING AN APPLICATION OF: Keith and Judy Meyers for final plat approval of the Lots 1A, 2A, and 3A, Block 96, Bellevue Townsite Subdivision.	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION
---	---

DESCRIPTION: A final plat to reconfigure the existing six (6) parcels into three (3) parcels.

The property is zoned B – Business.

The Bellevue Planning and Zoning Commission held a properly noticed public hearing on February 17, 2026 at which time the Commission voted to recommend approval of the subject application as conditioned herein. The Findings of Fact, Conclusions of Law, and Decision reflecting this recommendation was adopted by the Commission on March 16, 2026.

I. GENERAL BACKGROUND

1. **Notice** of this hearing was:
 - i. Published in the *Idaho Mountain Express* on March 25, 2026
 - ii. Posted on-site on March 23, 2026.
 - iii. Mailed to all property owners within 300’ of the exterior property boundaries on March 23, 2026.
2. The Council was asked to disclose any conflicts of interest or *ex parte* communications on the subject application. No conflicts or *ex parte* communication were identified.

3. Attached to this report are the following exhibits:

Document Name	Receipt of Last Revision
Application	December 23, 2025
Final Plat	January 21, 2026
Letter from Triangle Irrigation and Wood River Irrigation District #45	January 21, 2026
Title Report	December 23, 2026
Memorandum of Understanding between Property Owner and Wood River Land Trust	February 6, 2026
Drywell Infiltration Test Results	December 23, 2026
Record Drawings	December 23, 2026
Bid for Outstanding Construction	December 23, 2026
Findings of Fact, Conclusions of Law, and Decision from LLA-25-01	July 14, 2025
Certificate of Action Taken by Wood River Valley Irrigation District #45	February 10, 2026
Planning & Zoning Commission Findings of Fact, Conclusions of Law, and Decision	March 16, 2026

Exhibit B— Public Comments

Prior to opening the public hearing, Staff had not received any public comment.

II. FINAL PLAT STANDARDS OF EVALUATION

BELLEVUE CITY CODE SECTION 11-3-4

11-3-4(A): PROCEDURE:

After approval of the preliminary plat, the subdivider shall cause the subdivision to be surveyed and a final plat to be prepared in conformance with the preliminary plat as approved, and Idaho Code title 50, chapter 13. Upon completion of said final plat, the subdivider shall file same, together with the final plat application and all other documents required, with the Administrator including eight (8) copies thereof. Then the Administrator shall place said final plat on the commission's meeting agenda.

If the final plat conforms to all requirements of this title, other applicable ordinances and resolutions of the City, all conditions placed upon the preliminary plat by the Council, and all requirements of Idaho Code, the Commission shall recommend approval of said final plat to the Council. In the event that the Commission finds the final plat does not comply with this title or other applicable ordinances and resolutions of the City or does not substantially conform to the approved preliminary plat, the Commission shall deny said final plat.

When submitted to the Administrator, the final plat shall bear all required certificates. Thereafter, the Administrator shall place the final plat upon the Council's meeting agenda for a duly noticed public hearing.

FACTS: The applicant received preliminary lot line adjustment approval by the Bellevue Common Council on July 14, 2025.

The preliminary lot line adjustment was found to be in conformance with the requirements of Title 11, Bellevue City Code and other applicable

ordinances except where conditions of approval required modifications or enabled waivers of standards.

The applicant has provided a finalized Right of Way Agreement with the Diversion 45 Board of Control.

The applicant has commenced construction on required improvement has provided cost estimates to bond for the remaining infrastructure.

The applicant has provided a finalized easement agreement with the Diversion 45 Board of Control as noted on the face of the final plat.

The applicant has provided a recorded Option to Purchase Agreement with the Wood River Land Trust for the purchase of Lot 1A.

The final plat includes a note which states “Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report.”

FINDINGS: The proposed final plat is in compliance with Title 11, Bellevue City Code, and other applicable ordinances.

The conditions of approval placed upon the preliminary plat have been satisfied.

CONCLUSION: The subject application meets the requirements for granting approval of a final plat application.

II. DECISION AND ORDER

► **Motion:** Upon a Motion by Council Member and a second by Council Member, a unanimous vote, the Bellevue Common Council hereby **approves** of the subject application submitted by Keith and Judy Meyers, finding the application **complies** with the applicable criteria set forth in Bellevue City Code, subject to the following conditions of approval:

1. Prior to recordation of the final plat, the applicant shall receive final engineering approval.
2. Prior to recordation of the final plat, the applicant shall provide an irrevocable performance bond in the amount of \$93,801 in accordance with the requirements of Bellevue City Code Section 11-4-3.
3. Prior to the release of the irrevocable performance bond, the applicant shall:
 - a. Complete the installation of outstanding improvements.
 - b. Receive approval and acceptance of all improvements by the City Engineer.
 - c. Provide final as-built plans and specifications of all installed improvements.

Notice of Expiration

Pursuant to Bellevue City Code Section 11-3-4(D), failure to obtain final plat approval by the Council of an approved preliminary plat within one year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void.

No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended

for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.

Pursuant to Bellevue City Code Section 11-4-3, the applicant shall complete all required improvements held by performance bonding within one (1) year after approval by the Council. Failure to complete improvements will result in the City completing the bonded improvements at the expense of the applicant.

IT IS SO ORDERED this 13th day of APRIL, 2026

Christina Giordani, Mayor

ATTEST:

Amy Phelps, City Clerk



City of Bellevue¹¹³

115 E Pine Street
P. O. Box 825 Bellevue, ID 83313
208-788-2128 Fax 208-788-2092

SUBDIVISION APPLICATION

SUBDIVISION INFORMATION	
Preliminary Plat ☐	Final Plat ☒
Proposed Name of Subdivision: Lots 1A, 2A, and 3A, Block 96, Bellevue Townsite	
Street Address:	
Mailing address: PO Box 242, Bellevue, ID 83313	
Legal Description of property: Lots 1-6, Block 96, Bellevue Townsite	
Current Zoning of Property: Business	
Regular Plat- 5 or more residential parcels: ☐	Lot Line Adjustment ☒
Engineer Name & Contact: Samantha Stahlnecker, P.E.; (208) 720-9608	
PROPERTY OWNER	
Property Owner Name: Keith and Judith Meyers	
Mailing Address: PO Box 242, Bellevue, ID 83313	
Phone #: 208-481-1818	Fax #: Cell #:
Email Address: judymeyersinc@aol.com	
On behalf of Trust or LLC- Contact:	
Property Owner Consent: By Signature hereon, the property owner acknowledges that the City Officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any <i>ex parte</i> discussion (outside the hearing) with any person, including the property owner or representative, regarding this application. Property Owners Signature: _____ Date: <u>12</u> / <u>23</u> / <u>2025</u>	
FEE SCHEDULE	
* ALL LEGAL, ENGINEERING, MAILING, PUBLICATION AND ALL OTHER CONSULTANT REVIEW FEES SHALL BE REIMBURSED 100% BY THE APPLICANT.	
☐ Preliminary Plat- \$1000 +\$55/lot, sub-lot or unit	\$ _____
☐ Final Plat- \$300 + \$25/lot	\$ _____
☒ Lot Line Adjustment \$300	\$ _____
☐ Final Plat Application \$25/lot	\$ _____
☐ Publication: TBD	\$ _____
☐ Mailing: TBD	\$ _____
Total:	\$ _____

PRELIMINARY PLAT CHECKLIST

Name: _____

Certified Complete by: _____

Date: ____/____/____

The following items must be submitted with the application for the application to be considered complete (✓):

The Administrator shall review the preliminary plat application and data as well as the recommendations received by the various departments and agencies to ensure the said application and plat are in conformance with all applicable rules and regulations.

- ____ Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered **and easement holders** within the subject property.
- ____ Name of proposed Subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County.
- ____ Name and address of owner on record, the subdivider, the engineer, and the surveyor.
- ____ Legal Description of the area platted.
- ____ The scale, north point and date.
- ____ Name of all adjacent subdivisions.
- ____ Current title report shall be provided at the time the preliminary plat is filed, together with a copy of the owner's recorded deed to said property.
- ____ **One (1) 11" x 17"** copies of large plat. *One (1) if application is a Lot Line Adjustment*
- ____ PDF files of all required documents and 11" x 17" plats
- ____ **Three (3) copies** of the entire preliminary plat shall be filed with the Administrator.
- ____ **One (1) large plat, to scale, including:**
 - ____ Location of subdivision as forming a part of some larger tract or parcel of land referred to in the records of the Blaine County Recorder.
 - ____ North point, scale and date.
 - ____ Existing zoning of the tract, zoning requested for each area if not already zoned, or if a zone change is requested.
 - ____ Zoning district(s) and boundaries, including any overlay district(s) and boundaries.
 - ____ Boundary lines of tract to be subdivided. If applicable, existing and proposed lines, easements or building envelopes to be adjusted.
 - ____ Contour map of the subdivision, with contour lines having maximum interval of five feet (5') to show the configuration of the land based upon U.S. Geodetic Survey data, and other data approved by the City engineer.
 - ____ The scaled location of existing buildings, water bodies and watercourses and location of the adjoining or immediately adjacent dedicated streets, roadways, easements- public and private.
 - ____ The Proposed location of street right-of-way, lots and lot lines, and easements, including all approximate dimensions and including all proposed lot and block numbers.
 - ____ Boundary description and the area of tract.
 - ____ The location, approximate size, and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
 - ____ The Location of existing and proposed sanitary sewers, sewer services, storm drains, water supply mains, water services, fire hydrants and culverts within the property and immediately adjacent thereto.
 - ____ The proposed location of street right-of-way, lots and lot lines, and easements, including all approximate dimensions and including all proposed lot and block numbering and proposed street names.
 - ____ The plan and cross section of proposed streets and alleys showing widths of roadways, location of sidewalks, curb and gutter, location and species of street trees, drainage areas, parking areas, snow storage areas, and any other improvement proposed or require for the right-of-way.
 - ____ Direction of drainage flow and approximate grade of all streets.
 - ____ The location of all drainage canals and structures, proposed method of disposing runoff water, location and size of all drainage easements relating thereto, whether they are located within or outside of the proposed

- ___ All percolation tests and/or exploratory pit excavations required by State health authorities.
- ___ A copy of the provisions of the Articles of Incorporation and Bylaws of the Homeowners Association and/or condominium declarations to be filed with the final plat of the subdivision.
- ___ Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterial and collector streets.
- ___ Proposed names of all the streets, whether new or continuous (new street names must not be the same or similar to any other street names used in Blaine County).
- ___ The boundaries of the floodplain, floodway, and Avalanche Zoning District shall be clearly delineated and marked in the preliminary map.
- ___ Building envelopes shall be shown on each lot all or part of which is within a floodplain, floodway, or Avalanche Zone, or any lot that is adjacent to the Big Wood River or any tributary; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
- ___ Lot area of each lot.
- ___ Existing mature trees and establish shrub masses.
- ___ Parcel of land intended to be dedicated for required park space and proposed improvements thereon or written request to make voluntary cash contribution in-lieu of required park dedication and improvements.

PHASING PLAN, if applicable, including:

- ___ Numbers of lots in each phase.
- ___ Infrastructure planned for completion with each phase.
- ___ Amenities to be constructed with each phase.
- ___ Area Development Plan (if applicable).
- ___ Community Housing Plan (if applicable).
- ___ Flood Hazard Development Permit if property is located within or partially within the floodplain (if applicable)
- ___ Copy of draft CC&R's (if applicable)

See checklist(s) for items that must be submitted with this application in order for application to be considered complete. See the Bellevue Subdivision Ordinance for explanation of the review process.

FINAL PLAT CHECKLIST

Name: Lots 1A, 2A, and 3A, Block 96,
Bellevue Townsite

Certified Complete by: _____
Date: ____/____/____

The following items must be submitted with the application for the application to be considered complete (v):

*The final plat shall be drawn at such a scale and shall be in conformance with the provisions of Idaho Code title 50, chapter 13. After approval of the preliminary plat, the subdivider shall cause the subdivision to be surveyed and a final plat to be prepared in conformance with the preliminary plat as approved, and Idaho Code title 50, chapter 13. Upon completion of said final plat, the subdivider shall file same, together with the final plat application and all other documents required, with the Administrator including **EIGHT (8)** copies thereof.*

- ☒ Three (3) copies of the final plat shall be filed with the Administrator **PRIOR** to being placed on the commission's agenda. Three (3) copies of the final plat as approved by the Council and signed by the City Clerk shall be filed with the Administrator and retained by the City.
- ☒ Copy of the recorded Plat.
- ☒ Two (2) sets of as built drawings, certified as complete by the project engineer, of all public streets, public water system, the public sewer system and all utilities.
- ☒ Point of beginning of subdivision description tied to at least two (2) government survey corners, or in lieu of government survey corners, to monuments recognized by the City Engineer.
- ☒ Location and description of Monuments.
- ☒ Tract boundary lines, property lines, lot lines, street right-of-way lines and centerlines, building envelopes as required in the preliminary plat, lot area of each lot, boundaries of all the floodplain and floodway and the Avalanche District, all with bearings of accurate dimensions in feet and decimals therefor, in degrees and minutes, all radii, arcs, central angles, tangents, and chord lengths of all curves to the above accuracy.
- ☒ Names and locations of all adjoining subdivisions.
- ☒ Name and right-of-way width of each street and other public right-of-way.
- ☒ Location, dimension, and purpose of all easements, public and private.
- ☒ The lots numbered consecutively throughout each block.
- ☒ The outline of any property other than a street, alley, or easement which is offered for dedication to public use, fully dimensioned by distances and bearings with the area marked "Dedicated to the City of Bellevue for Public Use", together with any other descriptive language with regard to the precise nature of the use of the land so dedicated.
- ☒ The title shall include the name of the subdivision, the name of the City, if appropriate, County and State, and the location and description of the subdivision referenced to section township and range.
- ☒ Scale, north arrow and date.
- ☒ Location, width and names of all existing and dedicated streets and other public ways within or adjacent to the proposed subdivision.
- ☒ A provision in the owner's certificate referencing the County Recorder's instrument number where the condominium declaration(s) and/or Articles of Incorporation of the Homeowners' Association governing the subdivision are recorded.
- ☒ Certificate by a registered Engineer or surveyor preparing the map certifying to the accuracy of surveying plat.
- ☒ A current title report of all property contained within the plat.

- X Certification of the owner(s) of record and all holders of security interest(s) of record with regard to said property.
- X Certification and signature of the engineer (surveyor) verifying that the subdivision and design standards meet all City requirements.
- X Certification and signature of the City Engineer verifying that the subdivision and design standards meet all City requirements.
- X Certification and signature of the City Clerk verifying that the subdivision has been approved by the Council.
- X Notation of any additional restrictions imposed by the City Council on the development of said subdivision to provide for the public health, safety and welfare.

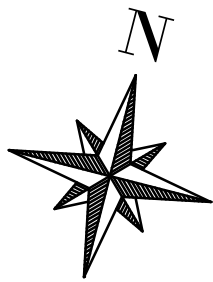
A PLAT SHOWING

LOTS 1A, 2A, & 3A, BLOCK 96, BELLEVUE TOWNSITE

WHEREIN THE SIX LOTS ARE RECONFIGURED INTO THREE LOTS AS SHOWN HEREON

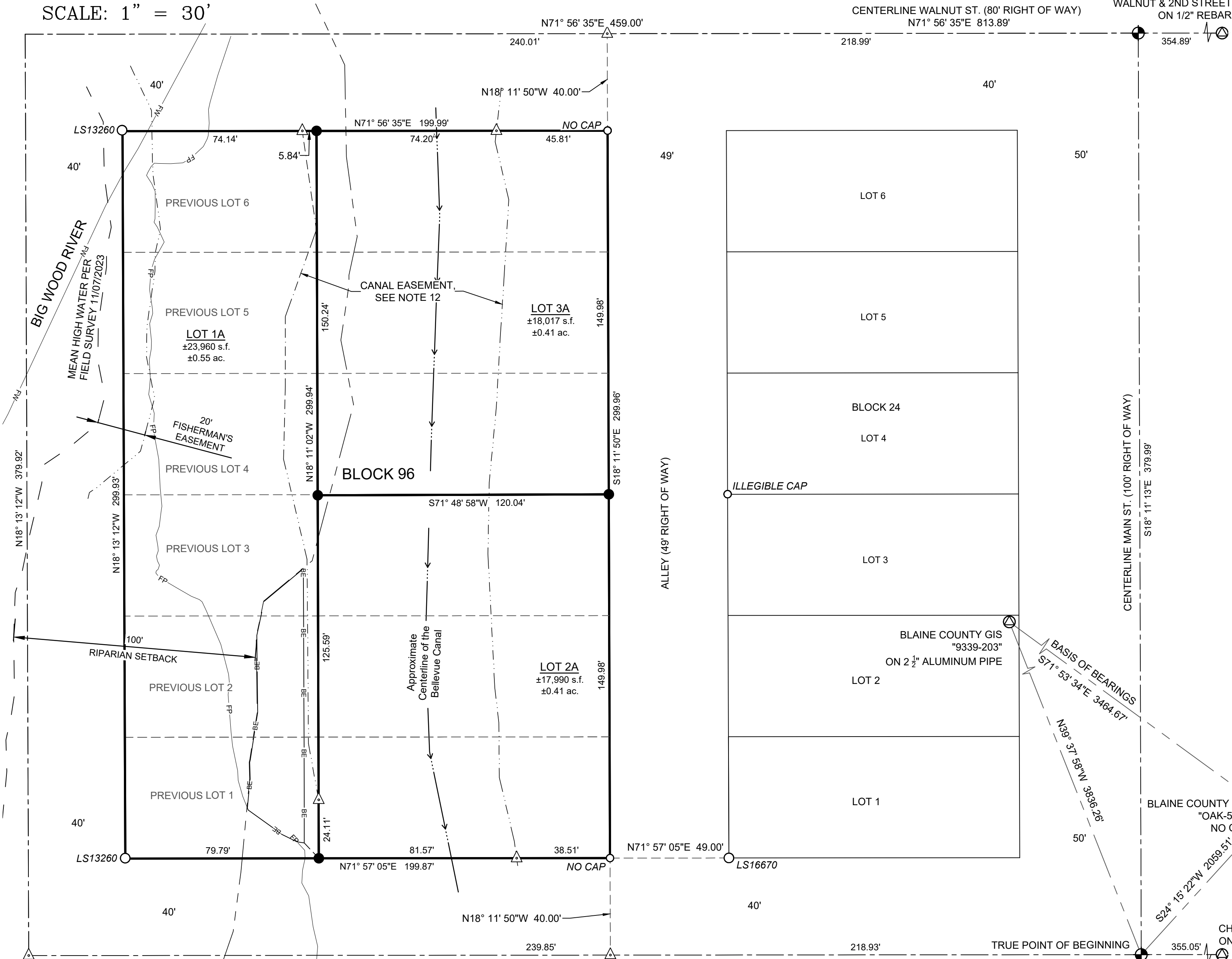
LOCATED WITHIN SECTION 36, T.2 N., R.18 E., B.M., CITY OF BELLEVUE, BLAINE COUNTY, IDAHO

JANUARY 2026



0 30 60 Feet

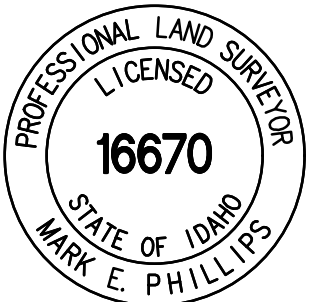
SCALE: 1" = 30'



LEGEND

- Property Line
- Previous Lot Line
- Adjoiner's Lot Line
- Centerline of Right of Way
- Building Envelope
- Mean High Water (per Field Survey 11/07/2023)
- 100' Riparian Setback
- Easement, Type and Width as Shown
- Canal Easement
- Floodplain per FEMA 2010 Study
- Floodway per FEMA 2010 Study
- Approximate Centerline of the Bellevue Canal
- GIS Tie Line
- Survey Tie Line
- Found Brass Cap in Concrete
- Found Aluminum Cap as Shown
- Found 5/8" Rebar
- Found 1/2" Rebar
- Set 5/8" Rebar, PLS 16670
- Calculated Point (Nothing Set)

SEE SHEET 2 FOR SURVEY NARRATIVE & NOTES



MARK E. PHILLIPS,
P.L.S. 16670

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date

South Central District Health Dept., EHS

LOTS 1A, 2A, & 3A, BLOCK 96,
BELLEVUE TOWNSITE

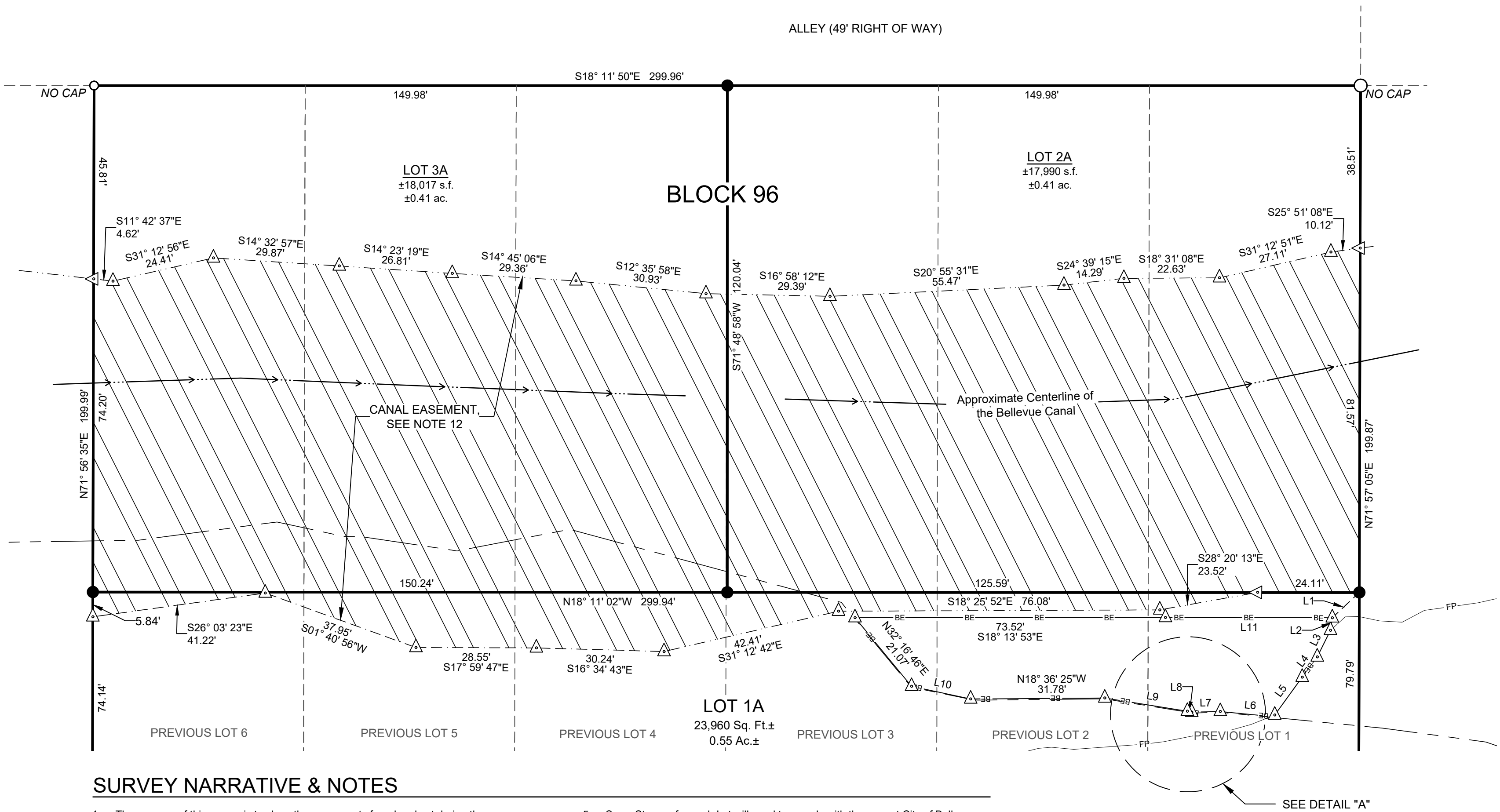
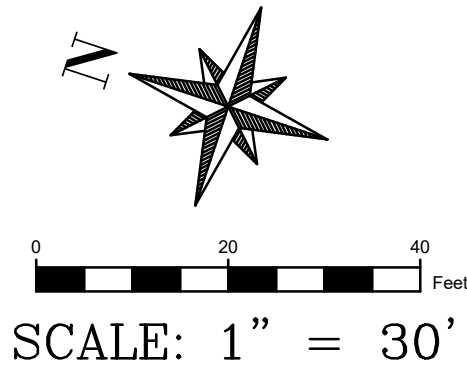
1 OF 3
PROJECT: 2023-01

PHILLIPS LAND SURVEYING, PLLC
HAILEY, IDAHO

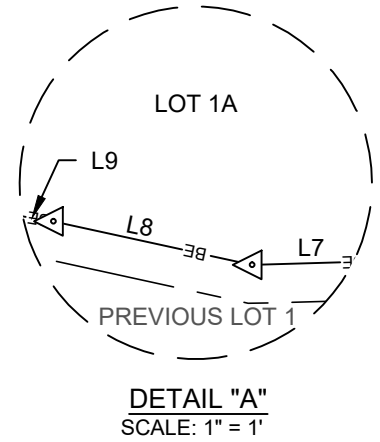
A PLAT SHOWING
LOTS 1A, 2A, & 3A, BLOCK 96, BELLEVUE TOWNSITE
JANUARY 2026

SEE SHEET 1 FOR LEGEND

ALLEY (49' RIGHT OF WAY)

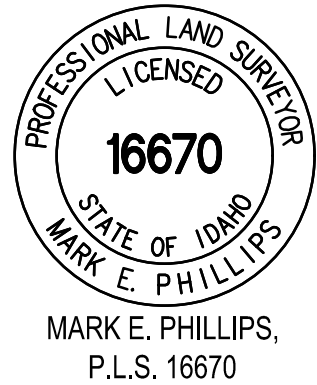


Line Table		
Line #	Length	Direction
L1	8.76'	N61°24'47"W
L2	3.02'	N80°09'18"E
L3	7.03'	N81°34'35"W
L4	5.97'	N71°34'19"W
L5	11.08'	N72°24'52"W
L6	12.14'	N12°37'51"W
L7	6.78'	N19°42'24"W
L8	1.06'	N05°51'27"W
L9	19.80'	N09°04'59"W
L10	14.30'	N06°01'32"W
L11	39.53'	S18°06'17"E



SURVEY NARRATIVE & NOTES

- The purpose of this survey is to show the monuments found and set during the boundary retracement of Lots 1, 2, 3, 4, 5, & 6, Block 96, Bellevue Townsite, and reconfigure the six lots into three lots as shown hereon. The boundary shown is based on found Centerline Monuments, found Lot Corner Monuments, the Record of Survey for Block 96, Bellevue Townsite, Instrument Number 646867, the partial resurvey of the Original Townsite of Bellevue, Instrument Number 207842, and the Original Map of Bellevue Townsite, all records of Blaine County, Idaho. All found monuments have been accepted. The missing monuments were set by block breakdown and proportioning record distances between found monuments.
- The distances shown are measured. Refer to the above referenced documents for the previous record data.
- Unless specifically shown hereon, this survey does not claim to reflect any of the following which may be applicable to the subject real property, including but not limited to; Building Setbacks, Ditches, Easements, Natural Encroachments, Natural Hazards, Covenants, Conditions, and Restrictions, Subdivision Restrictions, Wetlands, Zoning or any other Land Use Regulation. Certain Information contained in a title policy may not appear in this map or may affect items shown hereon. It is responsibility of the owner or agent to request and review a title policy.
- A Lot Book Guarantee for Lots 1, 2, 3, 4, 5, & 6, Block 96, Bellevue Townsite, has been issued by Stewart Title Guaranty Company, File Number 23475114, with a Date of Guarantee of July 5, 2023. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said policy. Some of the encumbrances and easements listed in the title report are Not plotted hereon. Review of the specific documents listed in said policy is required, if further information is desired.
- Snow Storage for each Lot will need to comply with the current City of Bellevue code and shall not be pushed off the top of the slope toward or into the canal.
- There shall be no access allowed by Lot owners along the existing canal access road to gain access to the Big Wood River.
- Lot owners shall comply with City of Bellevue parking requirements and be aware of limited space between city Right-of-Way and top of slope.
- A 20' Fisherman's Access Easement exists along the landward side of the mean high water line of the Big Wood River.
- Lot 1A 100' Riparian Setback to shall be field verified prior to City approval of building permit.
- No building shall be constructed on Lot 1A until a time when an approved access road to the lot is developed.
- Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a Geotechnical report.
- No building shall encroach into the space between the eastern top of bank and east high water mark unless otherwise allowed per Diversion 45 Right-of-Way Agreement, Instrument Number _____.



LOTS 1A, 2A, & 3A, BLOCK 96,
BELLEVUE TOWNSITE

2 OF 3
PROJECT: 2023-01

PHILLIPS LAND SURVEYING, PLLC
HAILEY, IDAHO

CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned are the owners in fee simple of the following described parcels of land:
Parcels of land located within Section 36, T.2N., R.18E., B.M., City of Bellevue, Blaine County, Idaho, more particularly described as follows:

LOTS 1, 2, 3, 4, 5, AND 6, BLOCK 96 OF THE CITY OF BELLEVUE

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. We do hereby certify that all lots in this plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of the lots shown within this plat.

It is the intent of the owners to hereby include said land in this plat.

KEITH A. MYERS

JUDITH E. MYERS

ACKNOWLEDGMENT

STATE OF _____
COUNTY OF _____ } ss

On this ____ day of _____, 2026, before me, a Notary Public in and for said State, personally appeared Keith A. Myers & Judith E. Myers, husband and wife, known or identified to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public in and for said State

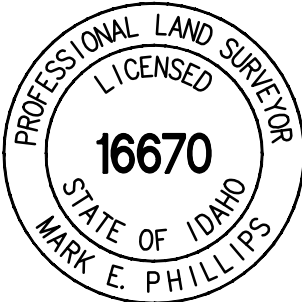
Residing in _____

My Commission Expires _____

SURVEYOR'S CERTIFICATE

I, Mark E. Phillips, a duly Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that this plat is a true and accurate map of the land and points surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to Plats, Surveys, and the Corner Perpetuation and Filing Act, 55-1601 through 55-1612.

Mark E. Phillips, P.L.S. 16670



BLAINE COUNTY SURVEYOR'S APPROVAL

I, Sam Young County Surveyor for Blaine County, Idaho, do hereby certify that I have checked the foregoing Plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating to Plats and Surveys

Sam Young, P.L.S. 11577
Blaine County Surveyor

Date

BELLEVUE CITY ENGINEER'S APPROVAL

The foregoing plat was approved by _____, City Engineer for the City of Bellevue, on this ____ day of _____, 2026.

City Engineer

BELLEVUE CITY COUNCIL'S APPROVAL

The foregoing plat was approved by the City Council of Bellevue on this ____ day of _____, 2026.

City Clerk

BLAINE COUNTY TREASURER'S APPROVAL

I, the undersigned County Treasurer in and for Blaine County, State of Idaho per the requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

Blaine County Treasurer

Date

BLAINE COUNTY RECORDER'S CERTIFICATE

LOTS 1A, 2A,& 3A, BLOCK 96,
BELLEVUE TOWNSITE

3 OF 3
PROJECT: 2023-01

PHILLIPS LAND SURVEYING, PLLC
HAILEY, IDAHO

Diversion 45 Right of Way

Agreement only for Bellevue lots 1-6 Block 96, east bank of canal

Overview:

These six lots have the Diversion 45 canal running through the middle of them. The east bank of the canal rises from the bottom of the canal up to street level. It is characterized by a largely inaccessible sloughing bank. State statute allows the irrigation district to determine the width of the right-of-way it needs on either side of the canal. Any encroachment into that ROW requires written permission from the District. In this case, at this location, no encroachment has ever been allowed between the water and the top of the bank.

Agreement:

At the location stated above, the two irrigation districts, Triangle Irrigation District and the Wood River Valley Irrigation District 45, are willing to allow permanent construction in the form of a retaining wall or building, to be placed no closer than 14 feet in parallel to the east mean high water mark. No other type of encroachment will be allowed. No portion of the construction may extend into that 14 foot space above the high water level.

Conditions:

The owner must first have the construction designed by a competent engineer to be appropriate for this steep loose bank. They must present this plan to the irrigation districts for a review by the district's engineers, before they can proceed with the work.

In addition, the owner must leave the bank between the construction and the high watermark with a leveled terrace, which is 4 feet above the High Water mark and running parallel to the water for the length of the construction. Steps must be taken so that the terrace never becomes eroded or sloughs off towards the bottom of the canal. It would be preferred that the terrace has a width of roughly 10 to 12 feet, runs along the foot of the wall, and the west side of the terrace slopes towards the water.

It will then become the responsibility of the owner to maintain the integrity of both the construction and the terrace.

Signed:

Sarah Gardner, Chairman of the board, TID:

Sarah Gardner

Greg Clark, Chairman of the board, WRVID45:

Greg Clark

Keith Myers, Property owner:

Keith Myers



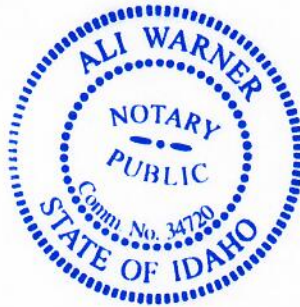
M Palomera
Maria Palomera
City of Bellevue, Idaho

State of IDAHO,County of BLAINE, ss.

This record was acknowledged before me on 4/9/2025 by
Greg Clark as
chairman of the Board of
WRVID 45



Notary Public

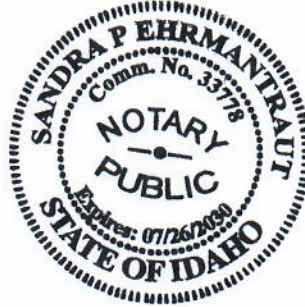
My Commission Expires: 9/19/30

State of Idaho,County of Blaine, ss.This record was acknowledged before me on April 09 2025 bySarah R Gardner

as

Chairman of the Board of
TID

Notary Public

My Commission Expires: July 26, 2030

LOT BOOK GUARANTEE
Issued By
Stewart Title Guaranty Company

REVISED SCHEDULE A

File No. 23475114

State: ID

County: Blaine

<u>Guarantee No.</u>	<u>Liability</u>	<u>Date of Guarantee</u>	<u>Fee</u>
G-0000127404038	\$1,000.00	July 5, 2023 at 7:30 a.m.	\$140.00

Name of Assured:

Phillips Land Surveying, PLLC

The assurances referred to on the face page hereof are:

1. That, according to the Company's property records relative to the following described land (but without examination of those Company records maintained and indexed by name):

Lots 1, 2, 3, 4, 5 and 6, Block 96 of the CITY OF BELLEVUE, BLAINE COUNTY, IDAHO, according to the official plat thereof, on file in the office of the County Recorder, Blaine County, Idaho.

2. The last recorded instrument purporting to transfer title to said land is:

Deed Type: Quit Claim Deed

Grantors: A. Keith Myers

Grantees: A. Keith Myers and Judith E. Myers, husband and wife

Recorded Date: September 14, 2007

Instrument: 551522

[Click here to view](#)

3. There are no mortgages or deeds of trust which purport to affect title to said land, other than those shown below under Exceptions.
4. There are no (homesteads, agreements to convey, attachments, notices of non-responsibility, notices of completion, tax deeds) which purport to affect title to said land, other than shown below under Exceptions.
5. No guarantee is made regarding (a) matters affecting the beneficial interest of any mortgage or deed of trust which may be shown herein as an exception, or (b) other matters which may affect any such mortgage or deed of trust.
6. No guarantee is made regarding any liens, claims of liens, defects or encumbrances other than those specifically provided for above, and, if information was requested by reference to a street address, no guarantee is made that said land is the same as said address.

EXCEPTIONS:

1. NOTE: According to the available records, the purported address of the land referenced herein is:

TBD None at the time, Bellevue, ID 83313

2. Taxes for the year 2022 are paid in full.

Parcel Number: [RPB00000960010](#)

Original Amount: \$1,175.76

3. Taxes, including any assessments collected therewith, for the year 2023 which are a lien not yet due and payable.

NOTE: New Parcel numbers for the year 2023.

Parcel Numbers:

RPB00000960010

RPB00000960020

RPB00000960030

RPB00000960040

RPB00000960050

RPB00000960060

4. The land described herein is located within the boundaries of the City of Bellevue and is subject to any assessments levied thereby.

5. Easements, reservations, restrictions, and dedications as shown on the official plat of [Bellevue](#).

6. Right of way for ditches, tunnels, telephone, and distribution lines constructed by authority of the United States, as granted to the United States under the provisions of Section 58-604 Idaho Code.

7. All matters, and any rights, easements, interests or claims as disclosed by a Record of Survey recorded September 27, 2017 as Instrument No. [646867](#), records of Blaine County, Idaho.

8. Right-of-way for the Bellevue Canal and the rights of access thereto for maintenance of said canal.

Sun Valley Title

By:

A handwritten signature in black ink, appearing to be 'NB' or similar initials, written in a stylized, cursive manner.

Nick Busdon, Authorized Signatory

**This Instrument Prepared by and after
Recording Returned to:**

Alturas Law Group, PLLC
PO Box 2975
Hailey, ID 83333

(For Recorder's Use Only)

MEMORANDUM OF OPTION AGREEMENT

THIS MEMORANDUM OF OPTION AGREEMENT ("**Memorandum**") dated as of the 22nd day of January, 2026, by and between Keith A. Myers and Judith E. Myers, as husband and wife ("**Optionor**") and Wood River Land Trust Company, an Idaho nonprofit corporation ("**Optionee**"). Optionor and Optionee are also sometimes referred to herein collectively as the "**Parties**".

Optionor and Optionee hereby acknowledge the following:

1. For valuable consideration described in that certain OPTION AGREEMENT between Keith A. Myers and Judith E. Myers and Wood River Land Trust Company, dated as of January 22, 2026 (the "**Option Agreement**"), Optionor has granted to Optionee the exclusive and irrevocable option (the "**Option**") to purchase that certain real property located at Lot 1A, Block 96, Bellevue Townsite, in Bellevue, ID, which is more particularly described in Exhibit A attached hereto (the "**Property**") under the terms and conditions set out in the Option Agreement.

2. **Option Term.** The term of the Option commenced on January 22, 2026 and automatically expires at 12:00 pm Mountain Time ninety (90) days after the Effective Date of the Option Agreement. If the Option is not exercised by Optionee or Optionee defaults on the Option Agreement, this Memorandum shall automatically terminate and be of no further force or effect and Optionee shall within fourteen (14) days of a request by Optionor execute and deliver in recordable form a termination and release to Optionor releasing the Option Agreement and this Memorandum.

3. **Notices.** Unless specifically stated otherwise in this Agreement, all notices, waivers, and demands required or permitted hereunder shall be in writing and delivered to the

addresses set forth below, by one of the following methods: (a) hand delivery, whereby delivery is deemed to have occurred at the time of delivery; (b) a nationally [or regionally] recognized overnight courier company, whereby delivery is deemed to have occurred the business day following deposit with the courier; (c) registered United States mail, signature required and postage prepaid, whereby delivery is deemed to have occurred on the third business day following deposit with the United States Postal Service; or (d) electronic transmission (facsimile or email) provided that the transmission is completed no later than 12:00 p.m. Mountain Time on a business day and the original also is sent via overnight courier or United States Mail, whereby delivery is deemed to have occurred at the end of the business day on which electronic transmission is completed.

To Optionor: Name: Keith A. Myers and Judith E. Myers
 Address: PO Box 242, Bellevue, ID 83313
 Telephone: 208-481-1818
 Email:

To Optionee: Name: Wood River Land Trust Company
 Address: 119 E Bullion Street, Hailey, ID 83333
 Telephone: 208-788-3947
 Email: atrujillo@woodriverlandtrust.org

with a copy to: Name: Alturas Law Group, PLLC
 Address: PO BOX 2975, Hailey, ID 83333
 Telephone: 208-788-6688
 Email: sam@alturaslawgroup.com; admin@alturaslawgroup.com

Any party to this Agreement may change its address for purposes of this Section 3 by giving written notice as provided in this Section 3. All notices and demands delivered by a party's attorney on a party's behalf shall be deemed to have been delivered by said party. Notices shall be valid only if served in the manner provided in this Section 3.

4. **Conflicts.** This Memorandum is intended only for recording purposes to provide notice of certain terms and conditions contained in the Option Agreement and is not to be construed as a complete summary of the terms and conditions thereof. This Memorandum is subject to the Option Agreement and any amendments, modifications, alterations, renewals, and extensions of the Option Agreement. The terms and provisions of the Option Agreement are incorporated in this Memorandum by reference. If there is any conflict between this Memorandum and the Option Agreement, the provisions of the Option Agreement shall control.

5. **Counterparts.** This Memorandum may be executed in multiple counterparts, each of which shall be deemed an original and all of which when taken together shall constitute one and the same document.

6. **Electronic Signatures.** The Parties agree that execution of this Memorandum by electronic signatures is legally binding and equivalent to execution by handwritten signatures.

7. **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Idaho.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the Optionor and Optionee hereto have executed this Memorandum as of the date first above written.

OPTIONOR:

Keith A. Myers and Judith E. Myers, as
husband and wife

By: Keith Myers
Name: Keith A. Myers

By: Judith E. Myers
Name: Judith E. Myers

OPTIONEE:

Wood River Land Trust Company, an Idaho
nonprofit corporation

By: Amy Trujillo
Name: Amy Trujillo
Title: Executive Director

EXHIBIT A

LEGAL DESCRIPTION

Lot 1 A, Block 96, Bellevue Townsite, City of Bellevue, Blaine County, Idaho

State of Idaho
County of Blaine

This record was acknowledged before me on January 22, 2026 by Keith A. Myers.

(SEAL)



[Signature]

Signature of notary public

My commission expires: April 13, 2028

State of Idaho
County of Blaine

This record was acknowledged before me on January 22, 2026 by Judith E. Myers.

(SEAL)



[Signature]

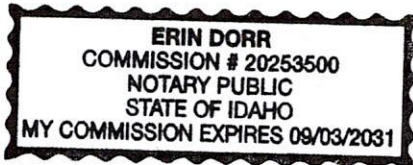
Signature of notary public

My commission expires: April 13, 2028

State of Idaho
County of Blaine

This record was acknowledged before me on JANUARY 22, 2026 by Amy Trujillo as Executive Director of the Wood River Land Trust Company, an Idaho nonprofit corporation.

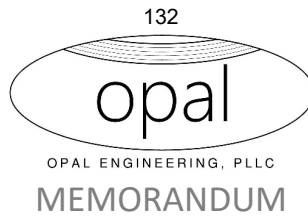
(SEAL)



[Signature]

Signature of notary public

My commission expires: 9.3.2031



DATE: December 23, 2025

TO: Brian Parker, Community Development Director
City of Bellevue

FROM: Opal Engineering, PLLC c/o Samantha Stahlnecker, P.E.

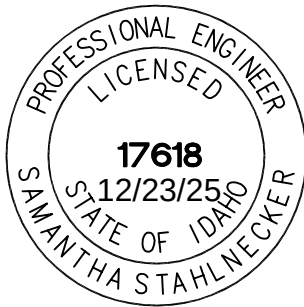
SUBJECT: Infiltration Test Results
Lots 1A, 2A, & 3A, Block 96, Bellevue Townside.

Dean Brian,

Opal Engineering conducted an in-situ infiltration test as required by the city engineer for the subject project on December 19th, 2025. This test was to verify the design infiltration rate for the drywell associated with the Lots 1A, 2A, & 3A, Block 96, Bellevue Townsite plat amendment. The infiltration test yielded infiltration rates in excess of 12 inches per minute, which is in excess of the assumed design infiltration rate of 2 inches per minute. The test confirmed that the proposed drywell will infiltrate more than the design flow.

Please contact me with any additional questions.

Thank you,



Samantha Stahlnecker, P.E.

LOTS 1A, 2A, & 3A, BLOCK 96, BELLEVUE TOWNSITE

BELLEVUE, IDAHO

DECEMBER 2025

GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF BELLEVUE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF BELLEVUE STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUESTS.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705; ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY PHILLIPS LAND SURVEYING, PLLC RECEIVED ON APRIL 29, 2024, AND AN EXTRA ALLEY SURVEY CONDUCTED BY PHILLIPS LAND SURVEYING, PLLC RECEIVED ON JULY 30, 2025.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY. TESTING LOCATION AND FREQUENCY SHALL MEET ISPMC REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.

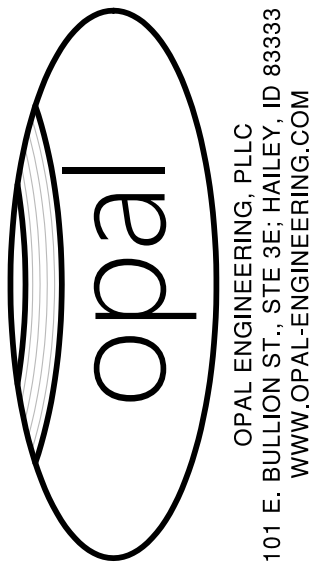


VICINITY MAP
N.T.S.

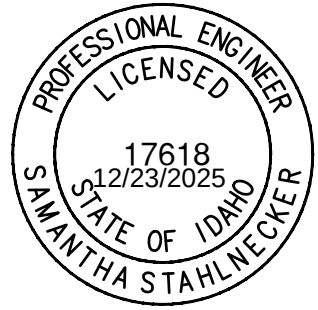
SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.2	DETAIL SHEET & DRYWELL CALCULATIONS
C0.3	WATER & SEWER NOTES AND DETAILS
C1.0	ALLEY IMPROVEMENTS & PROFILE

CIVIL ENGINEER
SAMANTHA STAHLNECKER, PE
OPAL ENGINEERING, PLLC
101 E BULLION STREET SUITE 3E
PO BOX 2530
HAILEY, IDAHO 83333



PURPOSE: RECORD DRAWING (12/23/2025)	
REVISION NO.	DATE DESCRIPTION



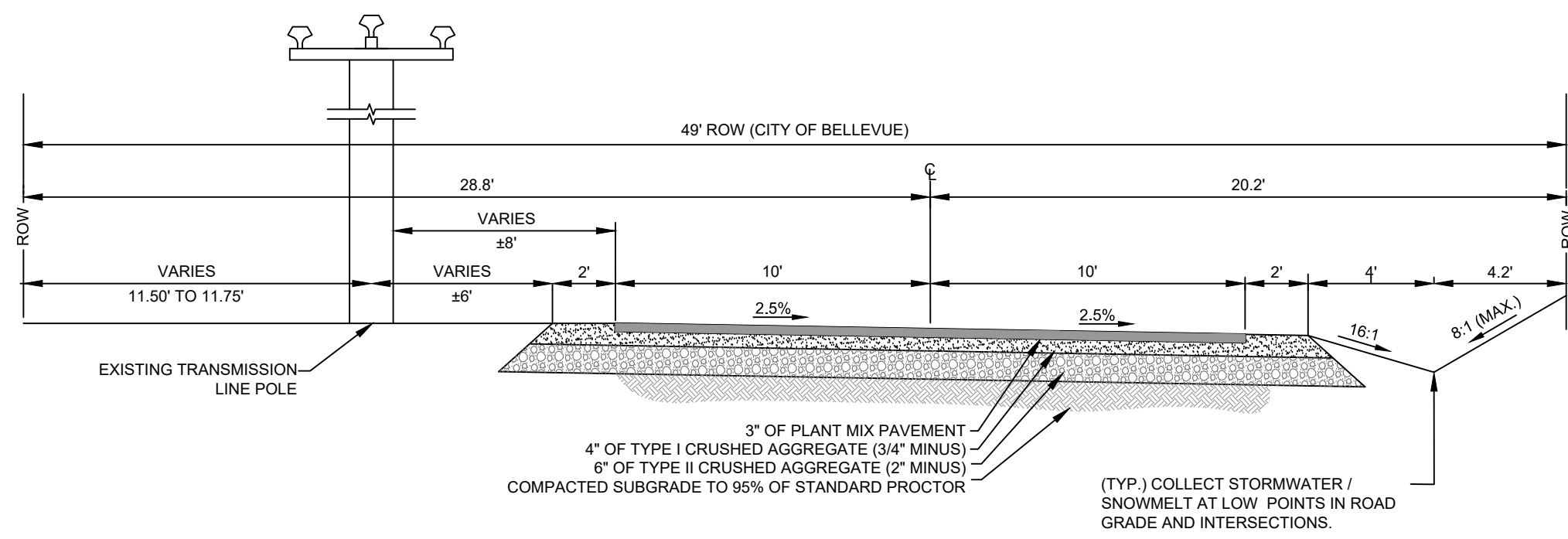
COVER SHEET

LOTS 1A,2A, & 3A, BLOCK 96, BELLEVUE TOWNSITE

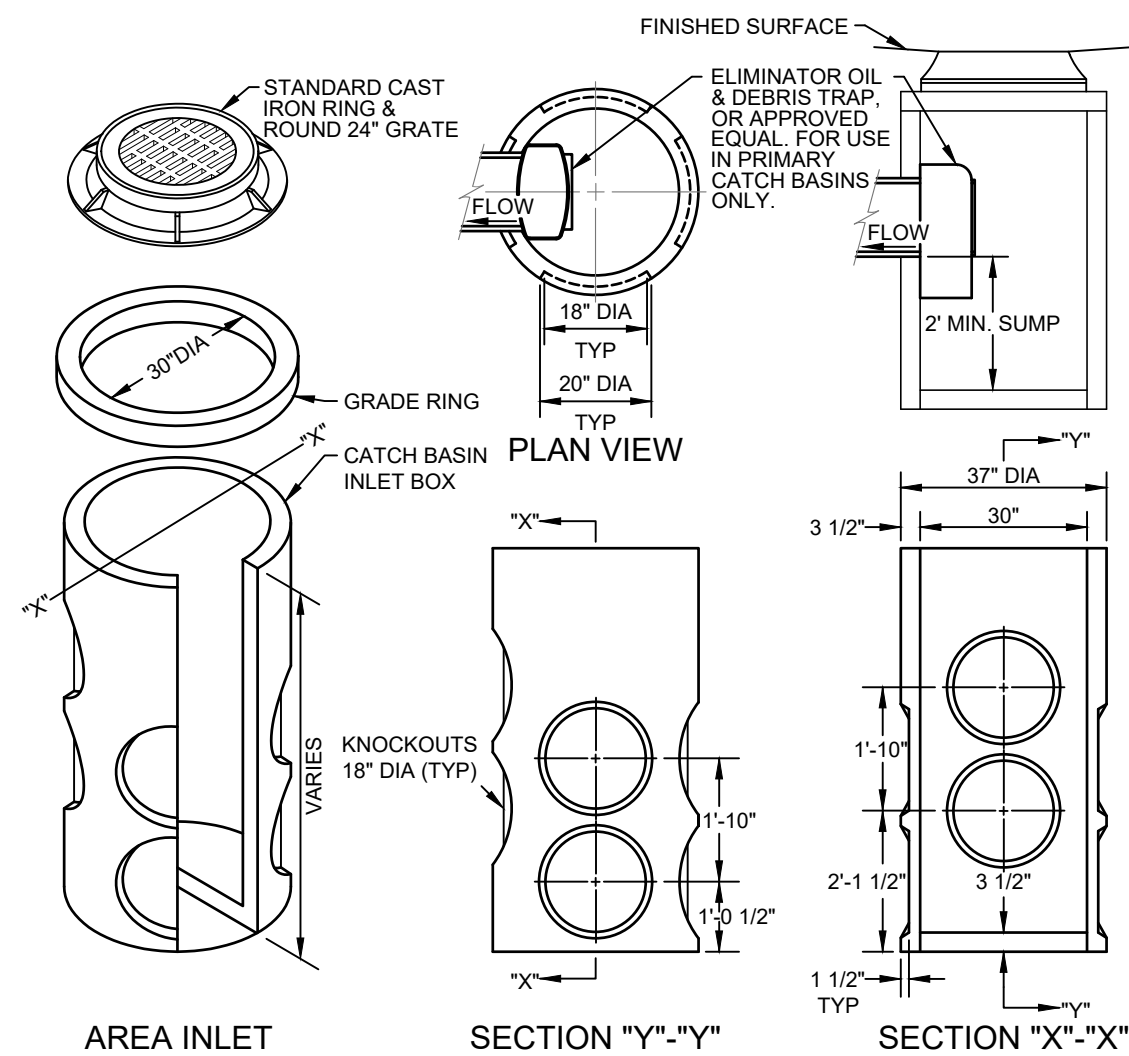
PREPARED FOR KEITH & JUDITH MYERS

24019
PROJECT NUMBER

C0.10

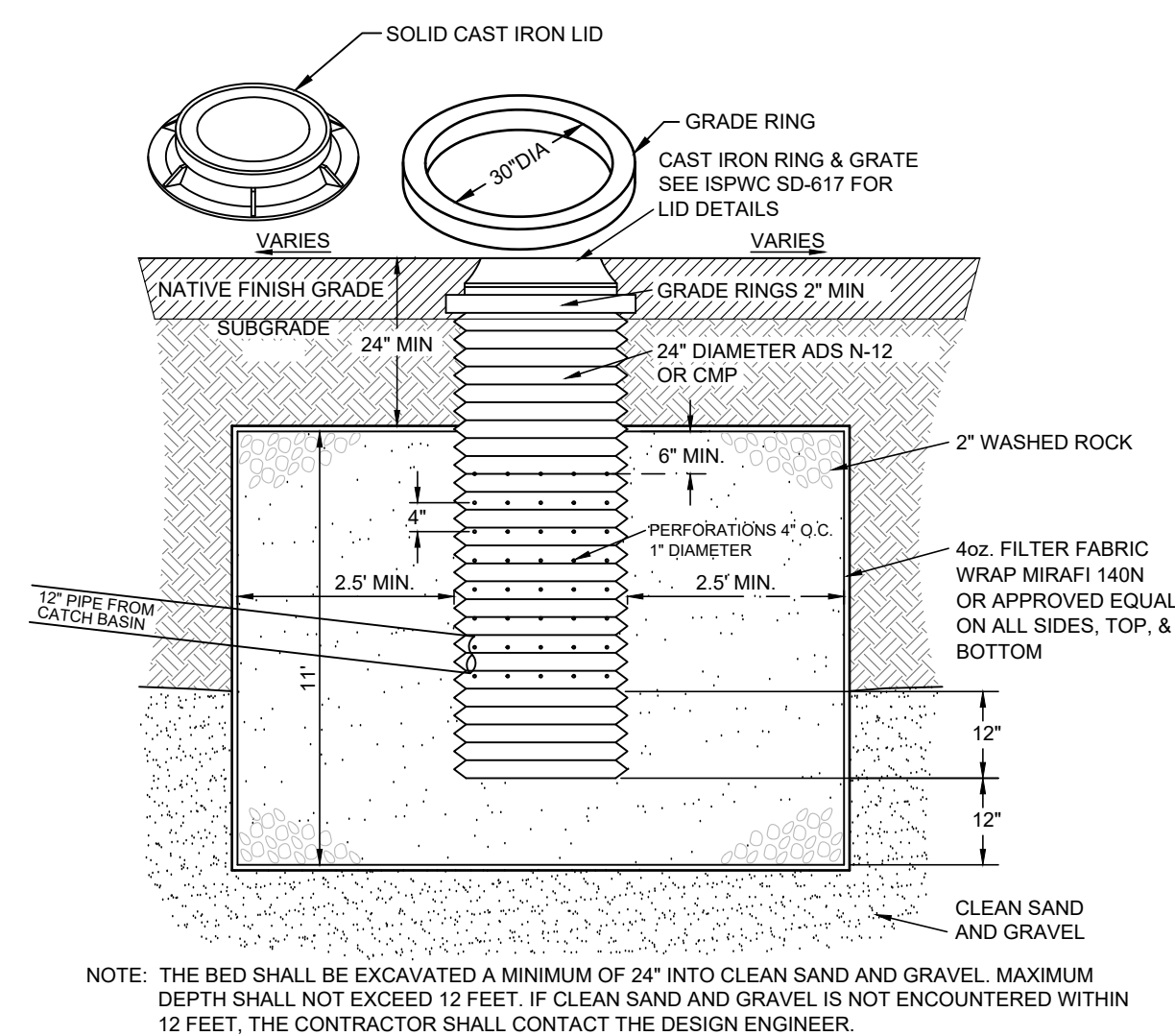


1
C0.2 **PROPOSED ALLEY SECTION**
N.T.S.



- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 3. PLACE A MINIMUM OF 4\"/>

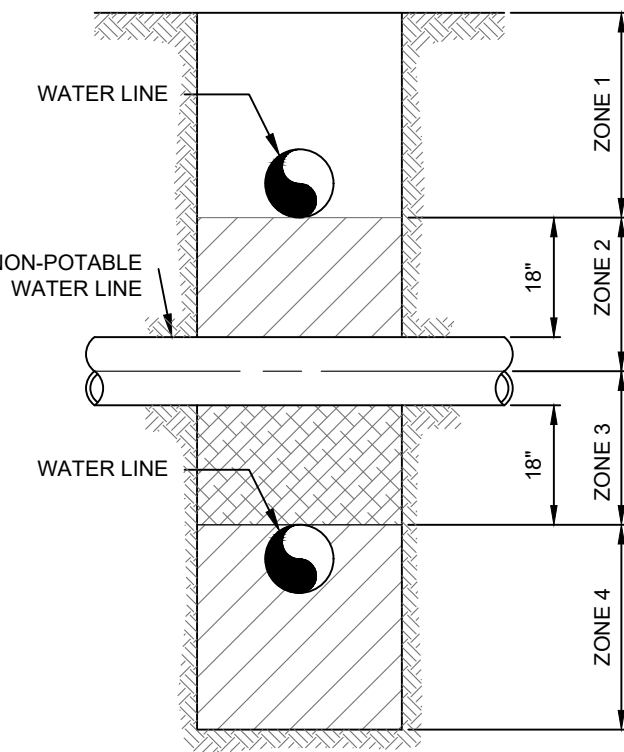
3
C0.2 **30\"/>**



NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

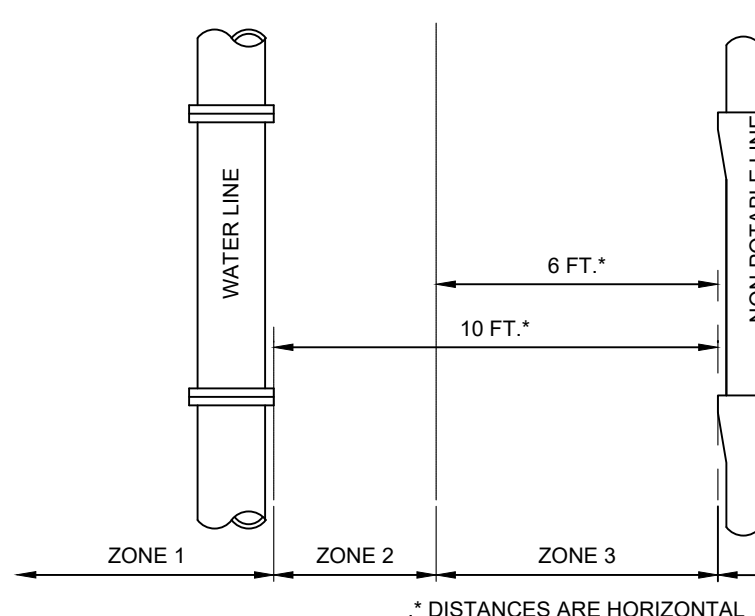
4
C0.2 **DRYWELL DETAIL**
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



VERTICAL SEPARATION REQUIREMENTS

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18\"/>

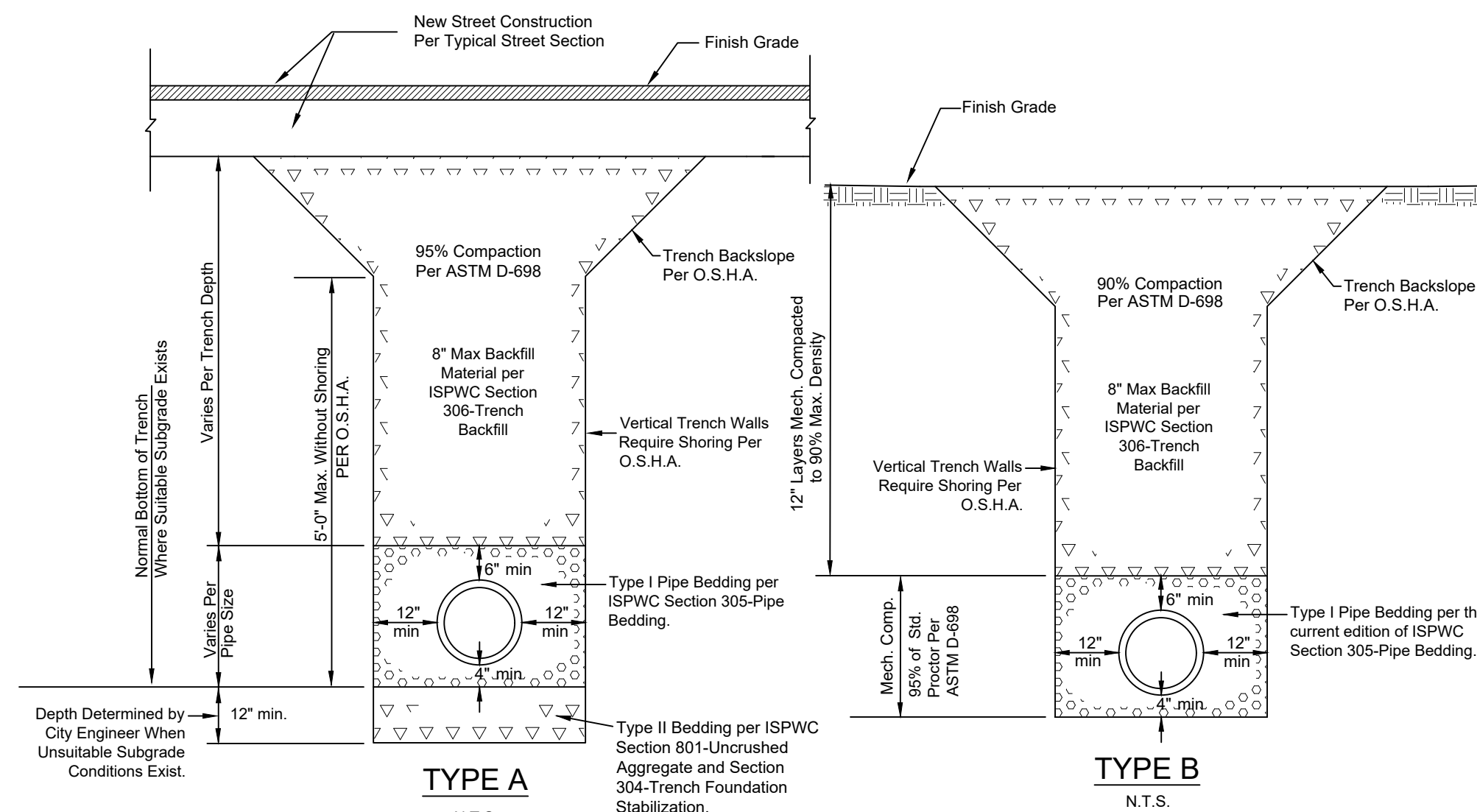


HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
- B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
- C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
- AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
- OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18\"/>

5
C0.2 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.

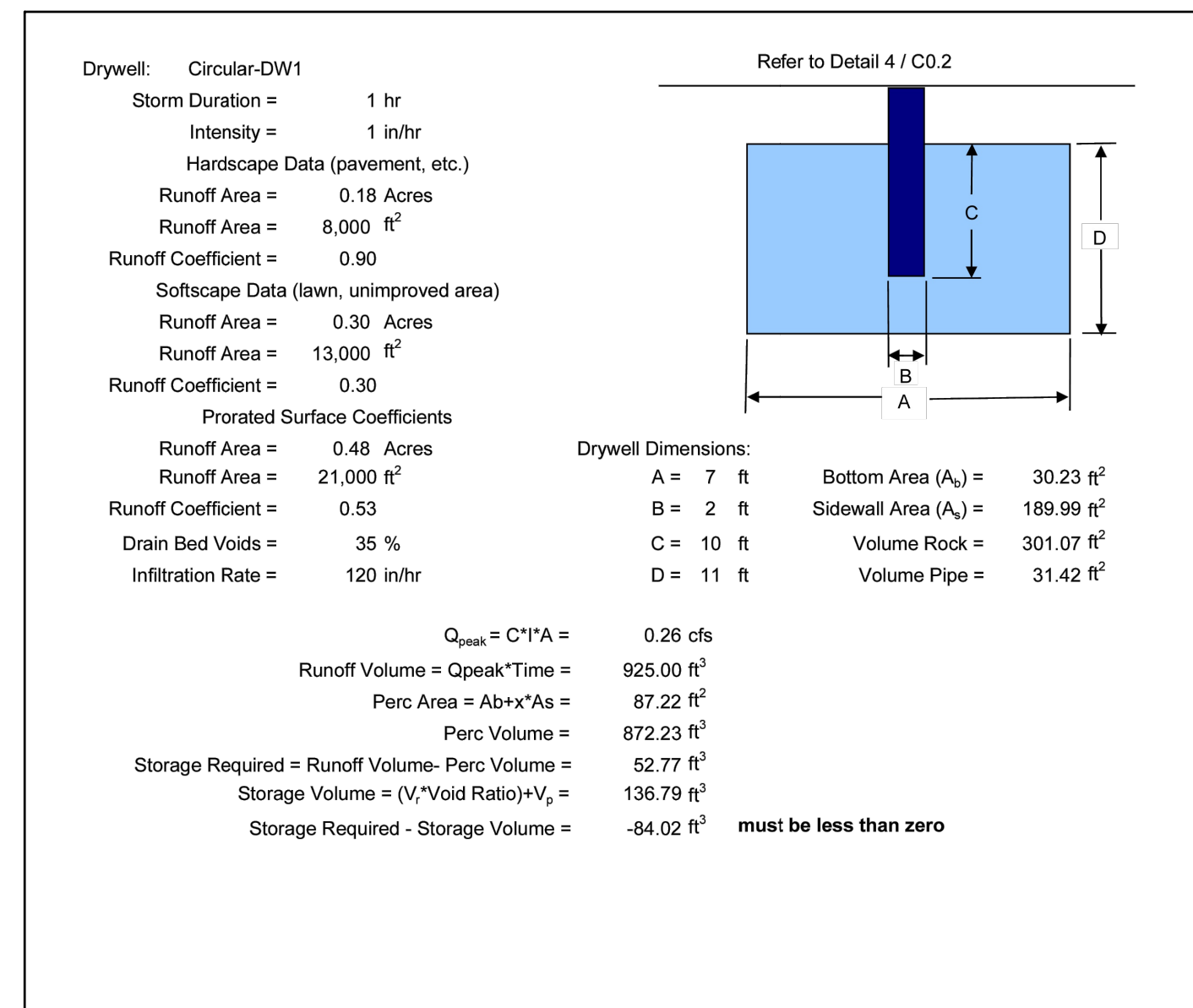


TYPICAL TRENCH SECTIONS

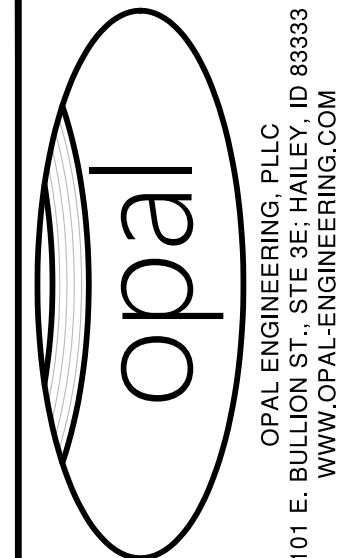
NOTES

1. Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPPWC Standards-Section 305-Pipe Bedding.
2. Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPPWC Standards-Section 305-Pipe Bedding.
3. Native materials may be used if it meets the backfill requirements listed in the ISPPWC Section 306. If the native material is found to be unsuitable, then either 8-inch minus uncrushed aggregate per the current edition of the ISPPWC Standards-Section 801-Uncrushed Aggregate or Type I or II crushed aggregate per the current edition of the ISPPWC Standards-Section 802-Crushed Aggregate will be required as backfill.
4. All work in public traffic ways is subject to approval by the Public Works Director. He shall be notified one day before any excavation is started. No backfill shall be placed until the backfill material has been approved by the Engineer of Record and verified by the Public Works Director. The Engineer of Record shall be responsible for certifying that all construction meets the City of Bellevue standards.
5. Type A Trench Section shall be used when crossing a public or private road, street or driveway section. A road, street or driveway section is defined as the area under an existing asphalt or gravel surface or curb and sidewalk, plus (4') four feet beyond each edge.
6. Type B Trench Section shall be used outside of any Type A, where new streets are not planned.
7. Rock shall be excavated to at least standard trench width per the current edition of the ISPPWC Standards-Section 302-Rock Excavation.

2
C0.2 **TYPICAL TRENCH SECTION**
N.T.S.

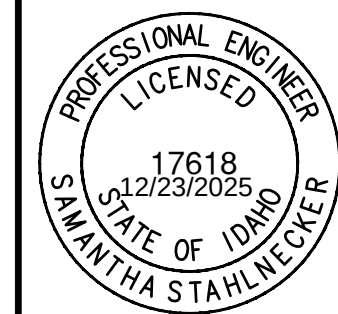


6
C0.2 **DRYWELL CALCULATIONS**
N.T.S.



PURPOSE: RECORD DRAWING (12/23/2025)

REVISION NO.	DATE	DESCRIPTION



DETAILS SHEET & DRYWELL CALCULATIONS

LOTS 1A,2A, & 3A, BLOCK 96, BELLEVUE TOWNSITE
PREPARED FOR KEITH & JUDITH MYERS

24019
PROJECT NUMBER

C0.2

FLUSHING AND DISINFECTION

- A. FLUSHING PRIOR TO DISINFECTION**
- BEFORE CHLORINATION, FLUSH THE MAINS THOROUGHLY AFTER THE PRESSURE AND LEAKAGE TEST ARE COMPLETE.
 - USE A MINIMUM FLUSHING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
 - IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, PROVIDE A TAP OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
 - TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
 - EXERCISE EXTREME CARE AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN LAYING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, PARTICLES OF MATERIAL, OR OTHER FOREIGN MATERIAL THAT MAY HAVE ENTERED THE MAINS.
 - CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISM OF EACH HYDRANT IS IN GOOD CONDITION.
- B. DISINFECTION OF WATER PIPES**
- GENERAL**
 - COMPLY WITH ANSI/AWWA C 651: DISINFECTING WATER MAINS, THESE SPECIFICATIONS, AND ENGINEER'S DIRECTION.
 - KEEP THE INTERIOR OF ALL PIPE, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
 - DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
 - FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER.**
 - LIQUID CHLORINE**
 - FORM: LIQUID CONTAINING 100% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
 - STANDARD: ANSI/AWWA B 301.
 - EXECUTION: USED ONLY BY TRAINED PERSONNEL WITH APPROPRIATE GAS-FLOW CHLORINATORS AND EJECTORS.
 - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
 - SODIUM HYPOCHLORITE**
 - FORM: LIQUID CONTAINING APPROXIMATELY 5% TO 15% AVAILABLE CHLORINE.
 - STANDARD: ANSI/AWWA B 300.
 - CALCIUM HYPOCHLORITE
 - FORM: GRANULAR OR IN 5G TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
 - STANDARD: ANSI/AWWA B 300.
 - METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER.**
 - TABLET OR GRANULE METHOD.**
 - SOLUTION STRENGTH: 25 MG/L MINIMUM.
 - USE: ONLY IF THE PIPES AND APPURTENANCES ARE KEPT CLEAN AND DRY DURING CONSTRUCTION. DO NOT USE SOLVENT WELDED PLASTIC OR SCREWED JOINT STEEL PIPE.
 - PLACEMENT WHEN USING GRANULES: DURING CONSTRUCTION, PLACE CALCIUM HYPOCHLORITE GRANULES AT THE UPSTREAM END OF EACH BRANCH MAIN, AND AT 500-FOOT INTERVALS.
 - GRANULAR QUANTITY: REFER TO TABLE 2
 - PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE 5G CALCIUM HYPOCHLORITE TABLES IN EACH SECTION OF PIPE AND ALSO PLACE ONE TABLET IN EACH HYDRANT, BRANCH AND OTHER APPURTENANCES. ATTACH TABLETS TO THE INSIDE OF THE PIPE USING AN ADHESIVE SUCH AS PERMATEX NO. 2 OR APPROVED SUBSTITUTION. ASSURE NO ADHESIVE IS ON THE TABLET EXCEPT ON THE BROAD SIDE ATTACHED TO THE SURFACE OF THE PIPE. ATTACH ALL THE TABLETS AT THE INSIDE TIP OF THE MAIN, WITH APPROXIMATELY EQUAL NUMBERS OF TABLETS AT EACH END OF A GIVEN PIPE LENGTH. IF THE TABLES ARE ATTACHED BEFORE THE PIPE SECTION IS PLACED IN THE TRENCH, MARK THEIR POSITION ON THE SECTION SO IT CAN BE READILY DETERMINED THAT THE PIPE IS INSTALLED WITH THE TABLES AT THE TOP.
 - TABLET QUANTITY: REFER TO TABLE 3
- (1) ADJUST FOR PIPE LENGTH OTHER THAN 18 FEET.
- (2) BASED ON 3.25G AVAILABLE CHLORINE PER TABLET.
- (3) FILLING PROCEDURE: WHEN GRANULE OR TABLET INSTALLATION HAS BEEN COMPLETED, FILL THE MAIN WITH CLEAN WATER AT A VELOCITY NOT EXCEEDING 1 FPS. TAKE PRECAUTIONS TO ASSURE THAT AIR POCKETS ARE ELIMINATED. LEAVE THIS WATER IN THE PIPE FOR AT LEAST 24 HOURS. IF THE WATER TEMPERATURE IS LESS THAN 41° F, LEAVE THE WATER IN THE PIPE FOR AT LEAST 48 HOURS. POSITION VALVE SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED WILL NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE.
- b. CONTINUOUS FEED METHOD.**
- SOLUTION STRENGTH: DOSE AT 25 MG/L FOR 4 HOURS.
 - RESIDUAL: 10 MG/L AT 24 HOURS.
 - DOSING METHODS:
 - LIQUID CHLORINE: SOLUTION FEED VACUUM-OPERATED CHLORINATOR IN COMBINATION WITH A BOOSTER PUMP.
 - DIRECT FEED: NOT ALLOWED.
 - HYPOCHLORITE SOLUTION: CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS.
 - CALCIUM HYPOCHLORITE GRANULES: REFER TO PREVIOUS SECTION.
 - FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE THE CHLORINE CONCENTRATION AT REGULAR INTERVALS AND ENSURE A 25 MG/L DOSE. POSITION VALVES SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED DOES NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE. DO NOT STOP CHLORINE APPLICATION UNTIL THE ENTIRE MAIN IS FILLED WITH CHLORINATED WATER. RETAIN THE CHLORINATED WATER IN THE MAIN FOR AT LEAST 4 HOURS, OPERATING ALL VALVES AND HYDRANTS IN THE SECTION TREATED. AT THE END OF THE 24 HOUR PERIOD, VERIFY THE TREATED WATER IN ALL PORTIONS OF THE MAIN HAS RESIDUAL OF 10 MG/L FREE CHLORINE.
- c. SLUG METHOD.**
- SOLUTION STRENGTH: 100 MG/L.
 - DOSING METHODS: PER ENGINEER'S DIRECTION.
 - FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE CONCENTRATION AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE. APPLY THE CHLORINE CONTINUOUSLY AND FOR THE TIME REQUIRED TO DEVELOP A SOLID COLUMN OR "SLUG" OF CHLORINATED WATER THAT WILL, AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS RESUMED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.

- C. FINAL FLUSHING.**
- AFTER THE RETENTION PERIOD, FLUSH THE CHLORINATED WATER FROM THE MAIN UNTIL CHLORINE MEASUREMENTS SHOW THAT THE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT IN THE SYSTEM, OR IS ACCEPTABLE FOR DOMESTIC USE.
 - DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
 - REACH SURFACE WATERS OR WATERS OF THE STATE
 - DAMAGE SURROUNDING PROPERTIES
 - TAKE PLACE DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER
 - IF WATER CAN NOT BE RETAINED ON SITE AND IF IT IS NOT ALLOWED TO ENTER THE SANITARY SEWER COLLECTION SYSTEM, WATER SHALL BE DECHLORINATED TO HAVE A MAXIMUM AVAILABLE CHLORINE CONCENTRATION OF 0.13 MG/L AND THE APPROPRIATE PRIVATE, FEDERAL AND STATE DISCHARGE AND DISPOSAL APPROVALS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF FLUSHING ACTIVITIES. SHOULD THERE BE A POTENTIAL FOR THE GROUNDWATER RULE TO BE VIOLATED AS A RESULT OF A CHLORINATED DISCHARGE THE ENGINEER SHALL COORDINATE DISPOSAL WITH REGIONAL DEQ STAFF PRIOR TO FLUSHING.

- D. BACTERIOLOGICAL TESTS.**
- AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, TEST SAMPLES COLLECTED FROM THE MAIN(S) FOR COLIFORM BACTERIA. TAKE 2 SAMPLES FROM EACH LOCATION AT LEAST 24 HOURS APART.
 - UNLESS OTHERWISE DIRECTED BY THE ENGINEER, COLLECT SAMPLES FROM EACH 1,200 FEET ON THE NEW MAIN AND ONE FROM EACH BRANCH.

- E. REDISINFECTION.**
- IF THE INITIAL DISINFECTION FAILS TO PRODUCE APPROVED BACTERIOLOGICAL SAMPLES, REFRESH AND RESAMPLE THE MAIN.
 - IF CHECK SAMPLES SHOW BACTERIAL CONTAMINATION, RE-CHLORINATE THE MAIN UNTIL APPROVED RESULTS ARE OBTAINED.

- F. SWABBING.**
- IF CONNECTIONS ARE NOT DISINFECTED ALONG WITH THE NEWLY INSTALLED MAIN, SWAB OR SPRAY THE INTERIOR OF ALL PIPES AND FITTINGS USED IN MAKING THE CONNECTIONS WITH A 1% HYPOCHLORITE SOLUTION BEFORE INSTALLATION.

TABLE 1
REQUIRED FLOW AND OPENINGS TO FLUSH PIPELINES
40 PSI RESIDUAL PRESSURE IN WATER MAIN (1)

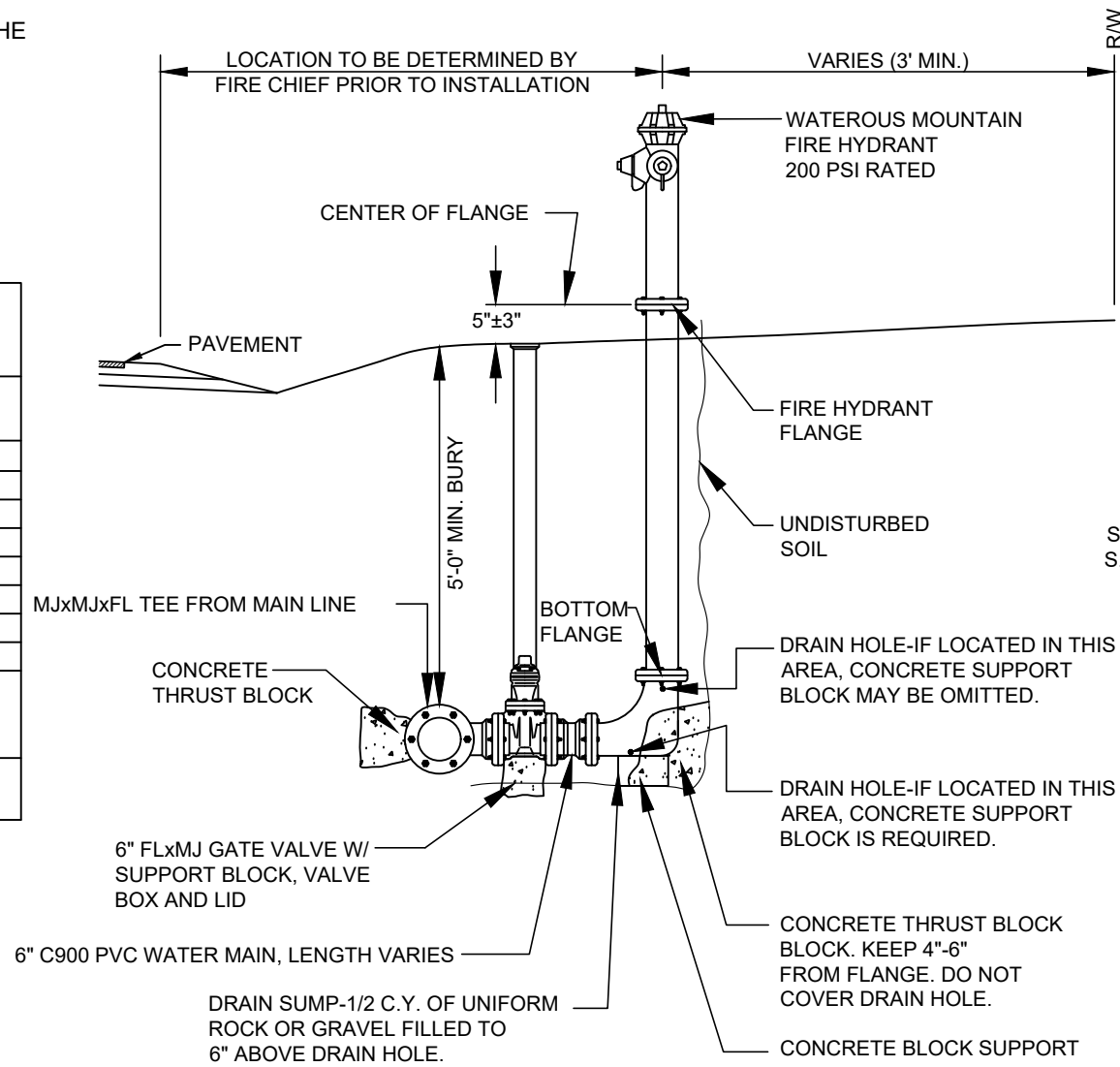
	Flow Required to Produce 2.5 fps (approx)	Size of Tap (inch) (1) (1-1/2) (2)			Hydrant Outlets	
Pipe Diam. (inch)	Velocity in Main, (Gpm)	Number of taps on pipe (2)			Number	Size in (inch)
4	100	1			1	2-1/2
6	220		1		1	2-1/2
8	400		2	1	1	2-1/2
10	600		3	2	1	2-1/2
12	900			2	2	2-1/2
16	1600			4	2	2-1/2
1)	With a 40 psi pressure in the main with the hydrant flowing to atmosphere, a 2- 1/2 inch hydrant outlet will discharge approximately 1,000 gpm and a 4-1/2 inch hydrant will discharge approximately 2500 gpm.					
2)	Number of taps on pipe based on discharge through 5 feet of galvanized iron (GI) pipe with one 90° elbow.					

TABLE 2
OUNCES OF GRANULES

Pipe Diameter (inches)	Amount (ounces)
4	1.7
6	3.8
8	6.7
10	10.5
12	15.1
16	26.8
18	34.0
20	41.9
24	60.4

TABLE 3
NUMBER OF TABLETS (1)

Pipe Diameter (inches)	Number of 5g Tablets (2)
4	1
6	1
8	2
10	3
12	4
16	6
18	7
20	9
24	13



2
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FIRE HYDRANT DETAIL

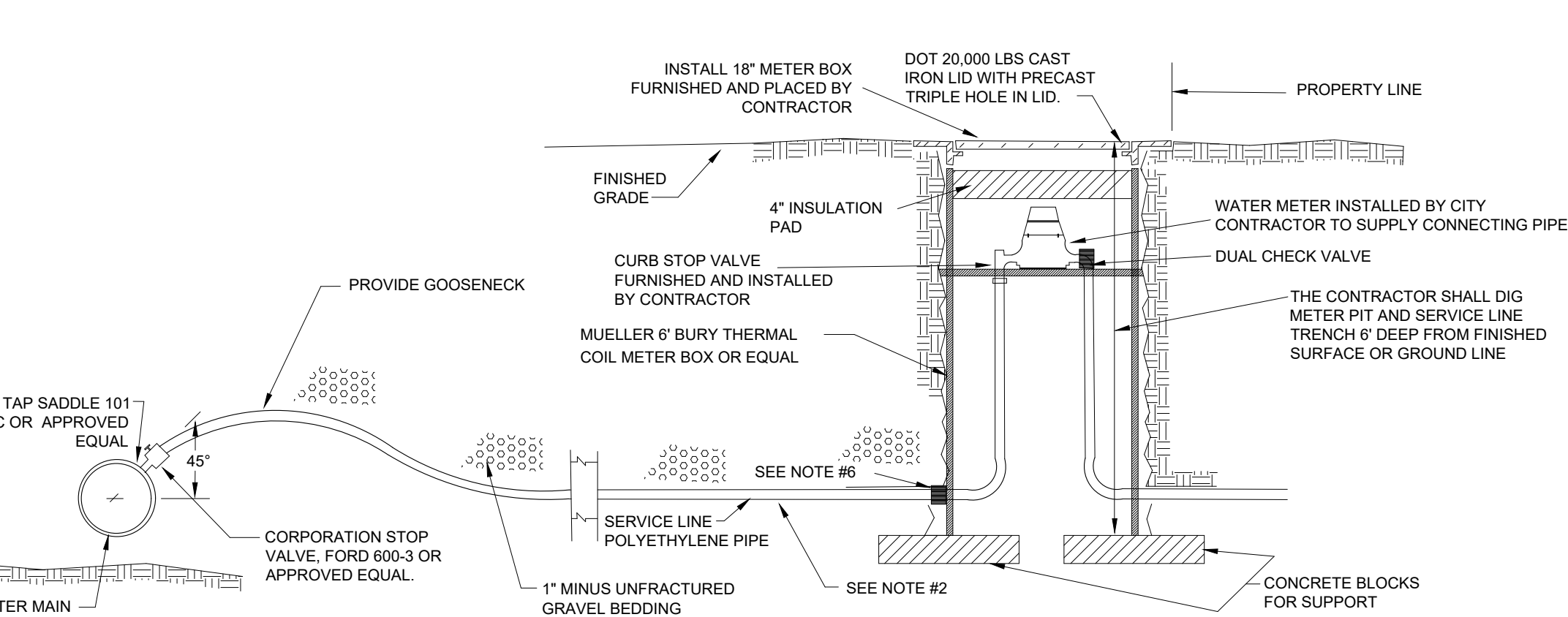
N.T.S.

SEWER CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND THE CITY OF BELLEVUE SPECIFICATIONS AND STANDARD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEQ APPROVAL STAMP AND A COPY OF THE DEQ APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL MAINS AND SERVICES SHALL COMPLY WITH IDAPA 58.01.08.542.07 a AND IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES. IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
- ALL SEWER SERVICE STUBS SHALL BE MARKED AND CAPPED WITH A GREEN PAINTED METAL FENCE POST. SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2%, WITH MARKERS PER ISPMC. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 150' LENGTH.
- ALL PIPE SHALL BE BEDDED WITH (ISPMC) TYPE I BEDDING MATERIAL.
- TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- THE CONTRACTOR SHALL PRESSURE TEST ALL SEWER MAINS AND SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION".
- ALL SEWER MAINS SHALL BE CONSTRUCTED OF PVC PIPE CONFORMING TO ASTM D3034 SDR 35. MINIMUM PIPE DIAMETER FOR GRAVITY SEWER MAINS SHALL BE 8-INCHES. MINIMUM SLOPE FOR 8-INCH SEWER MAIN SHALL BE 0.4%. INSTALL PIPE AT SLOPES INDICATED ON PLANS.
- MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ISPMC STANDARD DRAWING SD-501. MINIMUM DIAMETER SHALL BE 48 INCHES, AT ALL PIPE INTERSECTION, CHANGES IN ALIGNMENT, CHANGES IN GRADE, AND AT TERMINAL ENDS.

WATER MAIN CONSTRUCTION NOTES

- ALL WATER CONSTRUCTION SHALL BE TO CITY OF BELLEVUE STANDARDS. PROJECT ENGINEER WILL OBSERVE THE INSTALLATION OF THE WATER LINES AND VERIFY THAT THEY ARE INSTALLED PER PLAN (REFER TO CITY CODE, TITLE 8-1-6B).
- WATER MAINS SHALL HAVE A MINIMUM COVER OF FIVE (5.0) FEET, MEASURED FROM FINISHED GRADE. ALL TRENCH WORK SHALL CONFORM TO ISPMC SD-301 AND SD-302 USING CLASS A-1 BEDDING SYSTEM. TRACER WIRES SHALL BE INSTALLED WITH THE PIPE THEN BROUGHT TO THE SURFACE AT THE VALVES AND HYDRANTS.
- ALL 4" AND LARGER WATER MAINS SHALL BE CONSTRUCTED WITH AWWA C-900, CLASS 150 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPMC SECTION 401.3.6. TRACER WIRE SHALL BE INSULATED COPPER LOCATING WIRE NO. 12 GAUGE AND INSULATED PER ISPMC SECTION 401.
- SEE FLUSHING AND DISINFECTION REQUIREMENTS THIS SHEET. ALL BACTERIA TEST RESULTS SHALL BE SUBMITTED TO THE CITY FOR FINAL APPROVAL AND ACCEPTANCE PRIOR TO ACTIVATION OF THE WATER MAIN AND SERVICES.
- ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANS/NSF STANDARD 60/61. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25%pb BY WEIGHT).
- ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING OR APPROVED MECHANICAL RESTRAINTS. THRUST BLOCKS SHALL CONFORM TO ISPMC SD-403.
- ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER ISPMC SECTION 402. ALL GATE VALVES SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPMC SD-406.
- ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
- FIRE HYDRANTS SHALL CONFORM WITH ISPMC SECTION 403, SD-404 AND THE DETAIL IN THESE DRAWINGS. FIRE HYDRANTS SHALL BE WATEROUS MOUNTAIN FIRE HYDRANTS, OR APPROVED EQUAL.
- ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSI/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-380. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
- ALL MAINS AND SERVICES SHALL COMPLY WITH IDAPA 58.01.08.542.07 a AND IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES. IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL ON THESE PLANS. THE WATER METER IS TO BE SUPPLIED BY THE CITY OF BELLEVUE, CONTRACTOR TO SUPPLY A PIPE IN METER SETTER. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
- THE CONTRACTOR SHALL KEEP THE EXISTING SYSTEM LIVE, TO THE GREATEST EXTENT POSSIBLE, WHILE INSTALLING THE NEW WATER MAIN AND SERVICES TO MINIMIZE DISRUPTION OF WATER SERVICE TO THE USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED PRIOR TO CONNECTING THE NEW SERVICE LINES TO THE EXISTING SERVICE LINES AND ABANDONING THE EXISTING WATER MAIN AND EXISTING SERVICES. TO THE GREATEST EXTENT POSSIBLE, THE CONTRACTOR SHALL CONNECT THE NEW SERVICE DOWN STREAM OF THE EXISTING SERVICE VALVE SO THAT WATER SERVICE TO ONLY ONE USER MUST BE DISRUPTED DURING THIS OPERATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PIPE ZONE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ADAPTERS AND COUPLERS REQUIRED TO CONNECT THE NEW WATER MAIN FITTINGS TO THE EXISTING WATER MAINS. EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.



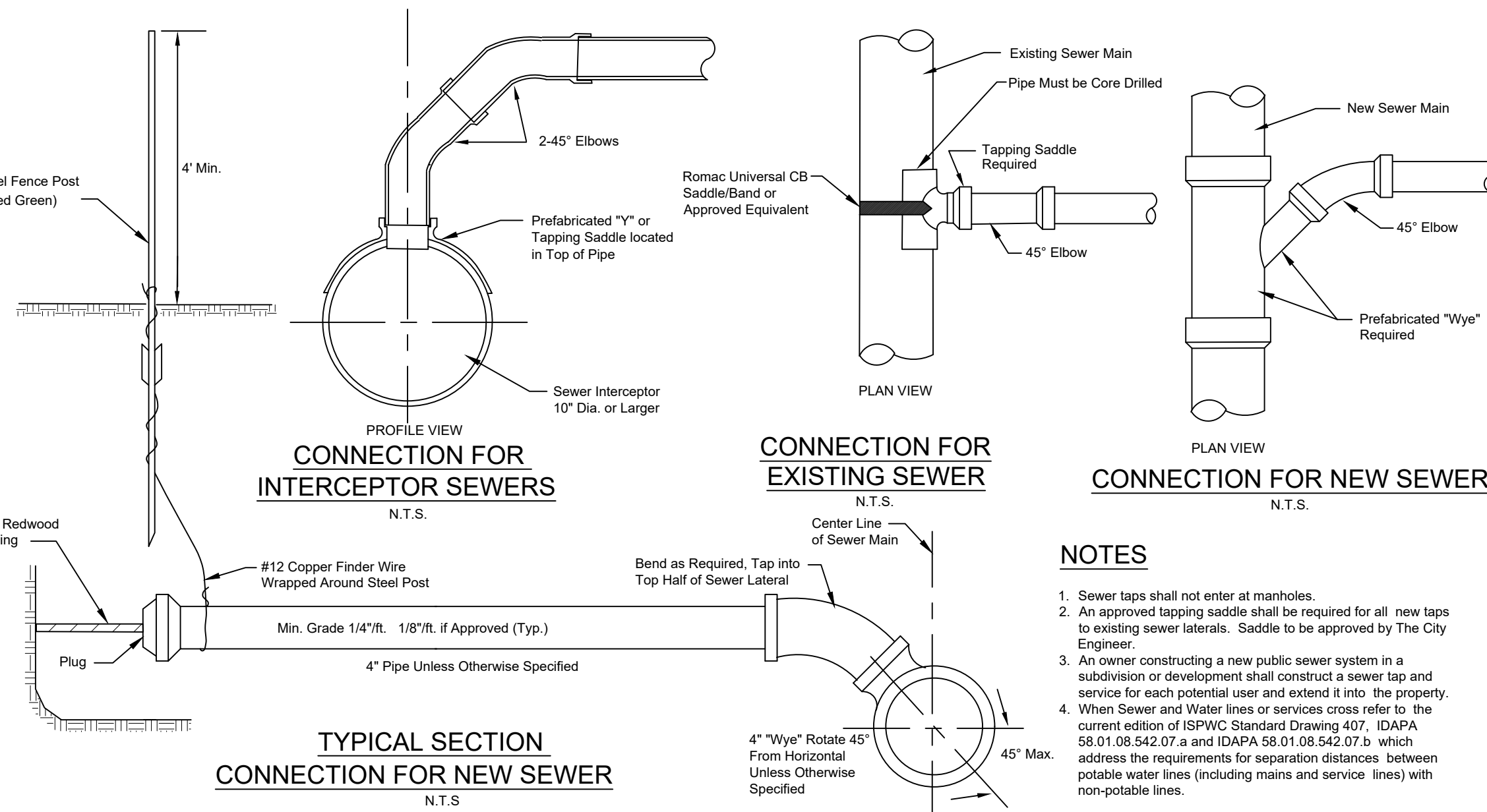
NOTES

- WATER SERVICE LINE SHALL HAVE A 6" MIN. BURY DEPTH.
- SERVICE LINE SHALL BE 1" DIAMETER ULTRA HIGH MOLECULAR POLYETHYLENE PIPE, ASTM D 2329, DESIGNATION P.E. 3408 IRON PIPE SIZE, UNLESS OTHERWISE SPECIFIED.
- CAUTION: OPEN CORPORATION VALVE BEFORE BACKFILL.
- AN OWNER CONSTRUCTING A NEW PUBLIC WATER SYSTEM IN A SUBDIVISION OR DEVELOPMENT SHALL CONSTRUCT A WATER TAP AND SERVICE FOR EACH POTENTIAL USER AND EXTEND IT TO THE PROPERTY LINE. WATER SERVICES SHALL BE MARKED WITH A BLUE PAINTED METAL FENCE POST.
- WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
- CONNECTION TO THE METER BOX OR CURB STOP SHALL BE WITH APPROPRIATE COMPRESSION FITTING.
- NO SERVICE CONNECTIONS WITHIN 1' OF PIPE END. STAGGER MULTIPLE CONNECTIONS MADE ON THE PIPE ALONG THE CIRCUMFERENCE AND SEPARATE BY A MINIMUM OF 2".
- MATERIALS USED SHALL BE COMPLIANT WITH NSF 61.
- ALL SERVICES SHALL CONFORM TO THE VERTICAL AND HORIZONTAL SEPARATION REQUIREMENTS PER DEQ.

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TYPICAL WATER SERVICE AND METER CONNECTION

N.T.S.



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SEWER SERVICE CONNECTION DETAIL

N.T.S.

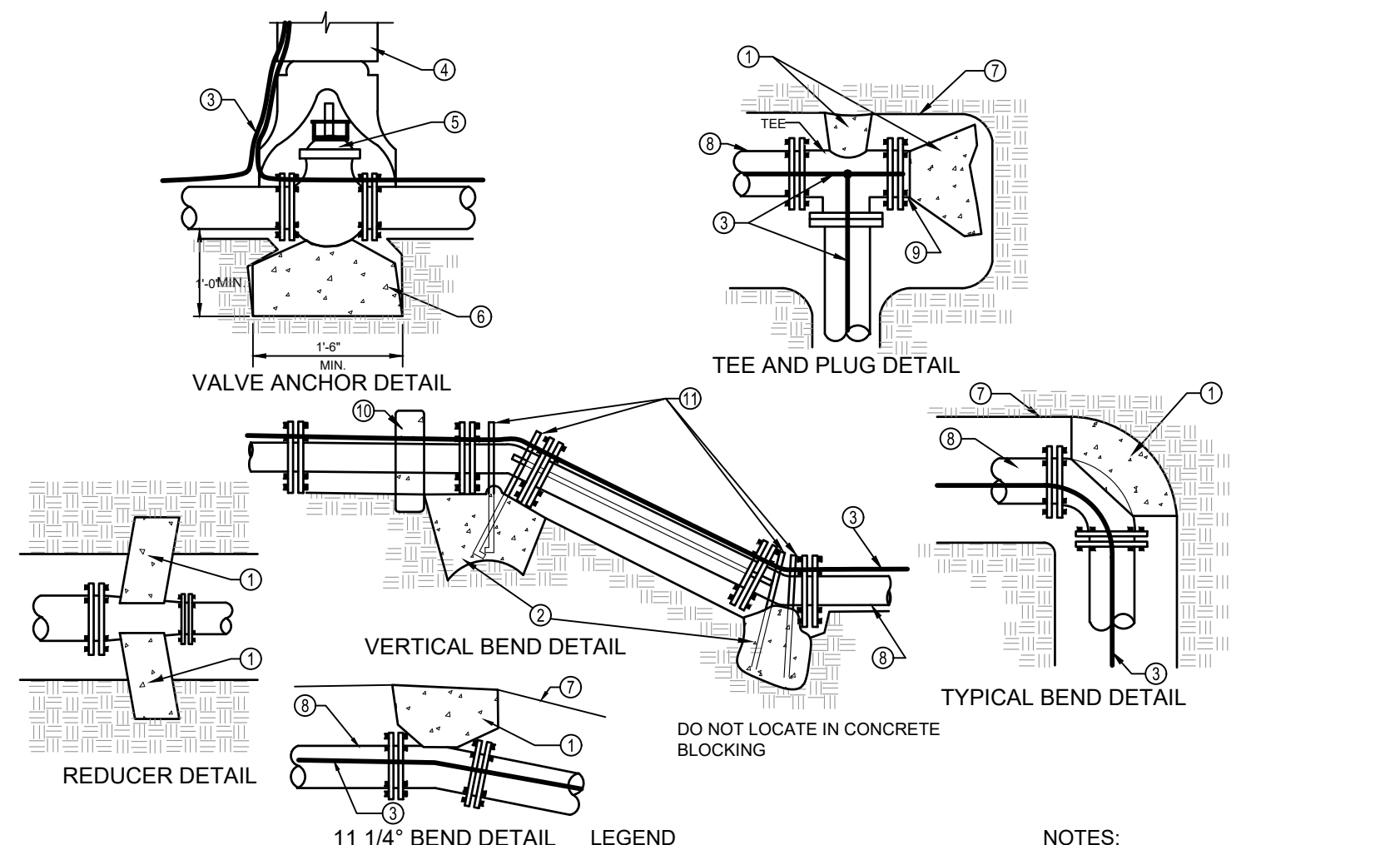


TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

PIPE SIZE	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

*** MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH), ** OR TEE ACTING AS A 90° BEND

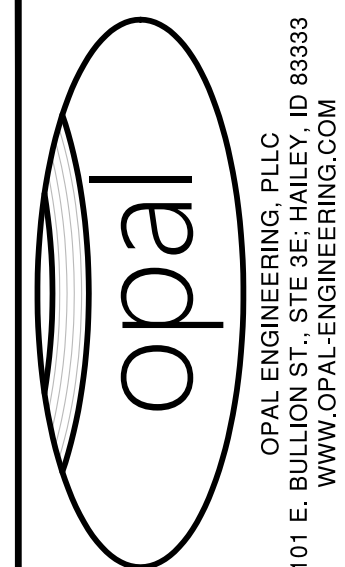
**** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

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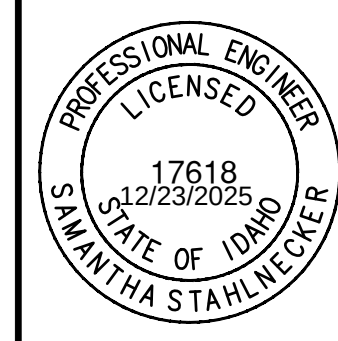
THRUST BLOCK AND ANCHOR DETAILS

N.T.S.

- LEGEND**
- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
 - FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
 - NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
 - C.I. VALVE BOX WITH COVER.
 - C.I. GATE VALVE (M.J.).
 - PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2"Ø MIN REBAR.
 - TRENCH SIDE.
 - PIPE.
 - PLUG.
 - HAMMERHEAD THRUST BLOCKING.
 - ANCHOR BARS (1/2"Ø MIN)
- NOTES:**
- ANCHOR ALL VALVES CONNECTED TO P.V.C. PIPE AS SHOWN.
 - COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHERENCE DURING CONSTRUCTION OF THRUST BLOCKS.
 - SEE CHART FOR MIN THRUST BLOCKS BEARING AREAS.
 - ALL CONCRETE TO BE 2500 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.
 - PROVIDE 6 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
 - NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
 - ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.



PURPOSE: RECORD DRAWING (12/23/2025)



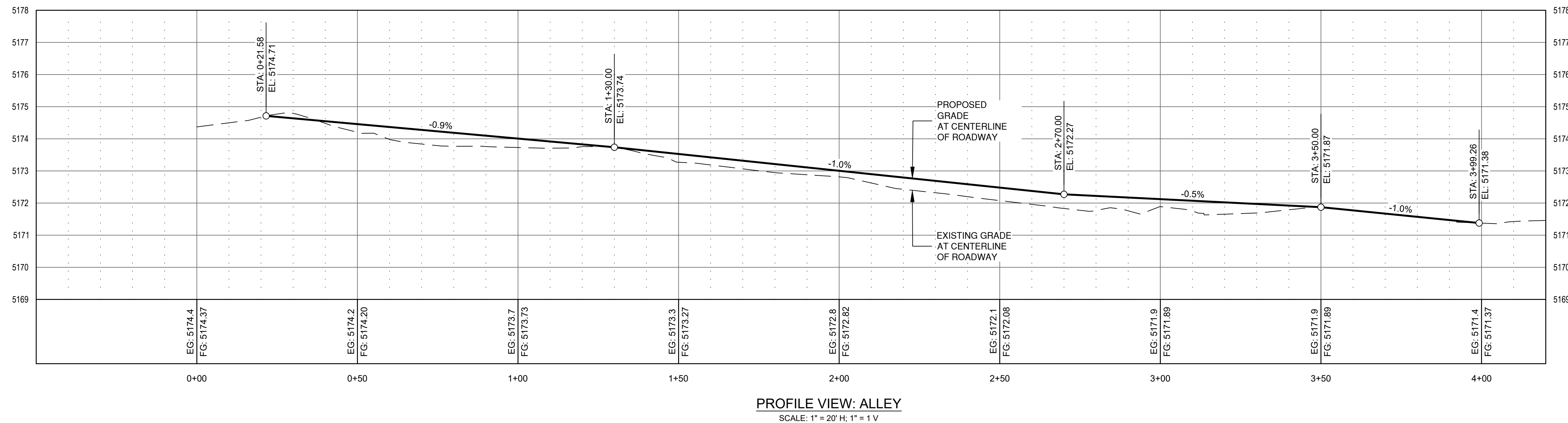
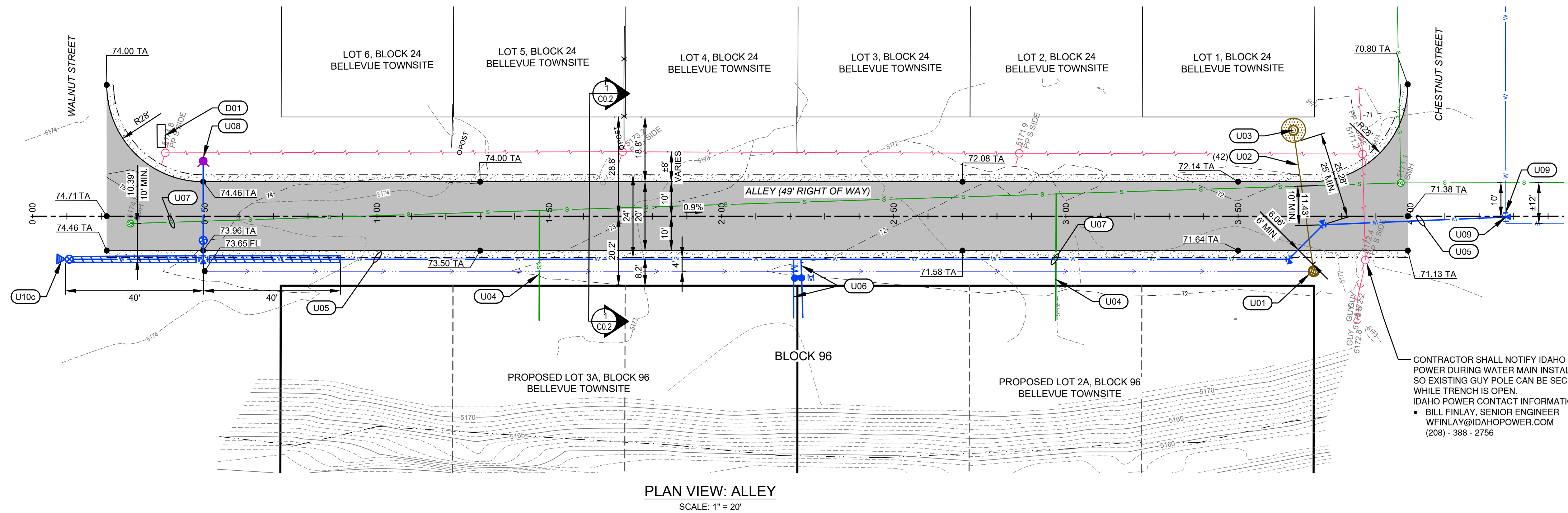
WATER & SEWER NOTES AND DETAILS

LOTS 1A,2A, & 3A, BLOCK 96, BELLEVUE TOWNSITE

PREPARED FOR KEITH & JUDITH MYERS

24019
PROJECT NUMBER

C0.3



NOTES

- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.
- SEE SHEET C0.3 FOR WATER AND SEWER UTILITY NOTES AND DETAILS.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF BELLEVUE SEWER DEPARTMENT FOR CONNECTION TO EXISTING SEWER LINE TO VERIFY MEANS AND METHODS.

LEGEND:

EXISTING ITEMS

- PROPERTY BOUNDARY
- ADJOINER'S LOT LINE
- FENCE LINE
- CANAL EASEMENT
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL
- FOUND 1/2" REBAR
- POWER POLE
- OVERHEAD POWER LINE
- GUYWIRE
- SEWER MAIN
- SEWER MANHOLE
- WATER MAIN
- EDGE OF GRAVEL
- GRAVEL DRIVEWAY
- POST
- DUMPSTER

PROPOSED ITEMS

- PROPERTY LINE
- PREVIOUS LOT LINE
- CENTERLINE OF RIGHT OF WAY
- PROPOSED PROPERTY CORNER, BY SURVEYOR
- GRAVEL
- ASPHALT
- FLOW LINE
- DRYWELL
- CATCH BASIN
- 12" STORM DRAIN
- 4" SEWER SERVICE
- 6" WATER MAIN
- 6" WATER MAIN W/ JOINT RESTRAINTS
- 1" WATER SERVICE
- WATER VALVE
- WATER MAIN FITTING
- WATER METER
- FIRE HYDRANT
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL
- GRADE
- SPOT GRADE ELEVATION, DESCRIPTION
- TA = TOP OF ASPHALT
- FL = FLOW LINE

DEMOLITION KEYNOTES

- D01 RELOCATE EXISTING DUMPSTER.

STORM AND DRY UTILITY KEY NOTES

- U01 INSTALL CATCH BASIN
PRIMARY CATCH BASIN. SEE DETAIL 3, SHEET C0.2
RIM = ±5170.76
INV. OUT = 5166.76
- U02 INSTALL 12" ADS N-12 STORM DRAIN PIPE OR APPROVED EQUAL WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 5 / C0.2 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 2, SHEET C0.2 FOR TRENCHING.
- U03 DRYWELL: SEE DETAIL 4 & 6, SHEET C0.2
RIM = ±5171.1
INV. IN (U01) = 5165.92
- U04 INSTALL 4" PVC SEWER SERVICE AT 2.0% MINIMUM SLOPE. SEE DETAIL 2, SHEET C0.2 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 1, SHEET C0.3 FOR SERVICE CONNECTION. CONTRACTOR SHALL NOTIFY ENGINEER IF COVER AT PROPOSED FLOW LINES IS LESS THAN 3.5'.
- U05 INSTALL 6" PVC C-900 WATER MAIN. REFER TO DETAIL 2, SHEET C0.2 FOR TRENCHING.
- U06 INSTALL 1" WATER SERVICE. SEE DETAIL 2, SHEET C0.2 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 3, SHEET C0.3 FOR SERVICE CONNECTION, METER BOX, AND INSULATION REQUIREMENTS.
- U07 POTABLE / NON-POTABLE WATER LINE CROSSING. REFER TO DETAIL 5, SHEET C0.2.
- U08 INSTALL FIRE HYDRANT ASSEMBLY PER DETAIL 2, SHEET C0.3. HYDRANT LOCATION TO BE FIELD-VERIFIED BY CITY OF BELLEVUE WATER DEPARTMENT.

- U09 POINT OF WATER CONNECTION. COORDINATE CONNECTION ACTIVITY WITH THE CITY OF BELLEVUE. HOT-TAP EXISTING 8" PVC WATER MAIN W/ 8" STAINLESS STEEL TAPPING SADDLE, REDUCER, AND 6" GATE VALVE W/ THRUST BLOCK. REFER TO DETAIL 4, SHEET C0.3 FOR THRUST PROTECTION. NOTIFY PROJECT ENGINEER IF EXISTING WATER MAIN IS LOCATED IN DIFFERENT LOCATION THAN SHOWN.
- U10 INSTALL 6" D.I. FITTING WITH THRUST BLOCK. REFER TO DETAIL 4, SHEET C0.3 FOR THRUST PROTECTION.
a. 90° BEND
b. 45° BEND
c. GATE VALVE WITH BLIND FLANGE AT WATER MAIN TERMINATION.

ALLEY IMPROVEMENTS & PROFILE

LOTS 1A, 2A, & 3A, BLOCK 96, BELLEVUE TOWNSITE

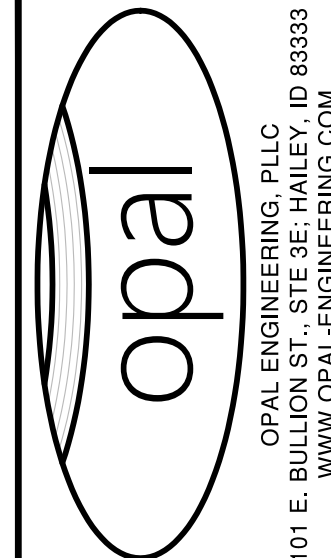
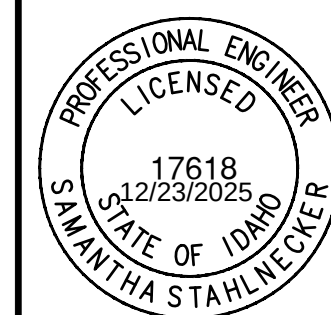
PREPARED FOR KEITH & JUDITH MYERS

24019
PROJECT NUMBER

C1.00

PURPOSE: RECORD DRAWING (12/23/2025)

REVISION NO. DATE DESCRIPTION



Rixon Excavation LLC

191 Cranbrook Rd
 Hailey, ID 83333
 (208) 720-5798
 carl.rixon@gmail.com

**Estimate**

ADDRESS

Ac prep and paving

ESTIMATE

1042

DATE

12/09/2025

DATE	ACTIVITY	QTY	RATE	AMOUNT
	Asphalt prep Cut proposed road to subhead and export spoils.	246	25.00	6,150.00
	Asphalt prep Import and place 6" 2"- and 4" of 3/4 roadmix and compact.	448	58.00	25,984.00
	Paving IMC to pave.	7,600	4.00	30,400.00
TOTAL				\$62,534.00

Accepted By

Accepted Date

CITY OF BELLEVUE

COMMON COUNCIL

REGARDING AN APPLICATION OF: Judy & Keith Meyers for a lot line adjustment for Lots 1-6, Block 96 of the Bellevue Townsite Original Plat. The proposed lot line adjustment will reconfigure the existing six (6) parcels into three (3) parcels and include a request for waivers from code requirements.	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION
---	---

DESCRIPTION: An application for a lot line adjustment for Lots 1-6, Block 96 of the Bellevue Townsite Original Plat. The proposed lot line adjustment will reconfigure the existing six (6) parcels into three (3) parcels and include a request for waivers from code requirements.

The Bellevue Common Council (Council) held a properly noticed public hearing on April 14, 2025, and voted to continue the subject application to April 28, 2025, May 12, 2025, May 27, 2025 (including a visit to the subject property), and June 23, 2025, at which time the Council voted to approve the subject application as conditioned herein.

I. GENERAL BACKGROUND

1. **Notice** of this hearing was:
 - i. Published in the Idaho Mountain Express on March 26, 2025
 - ii. Posted on the subject property on March 24, 2025.
 - iii. Mailed to all adjoining within 300' of the exterior property lines on March 24, 2025.
2. The Council was asked to disclose any conflicts of interest or *ex parte* communications on the subject application. Council Members Shay, Bergin, and Davis noted that they had been contacted by interested parties, but had not discussed the matter in any meaningful ways.

3. Attached to this report are the following exhibits:

Exhibit A—Application Materials

Document Name	Receipt of Last Revision
Application	January 22, 2025
Preliminary Plat	January 22, 2025
Application Narrative	January 22, 2025
Letter from Triangle Irrigation and Wood River Irrigation District #45	January 22, 2025
Road Section Comparison Exhibit	February 11, 2025
Findings of Fact, Conclusions of Law, and Decision from 2023 LLA application	October 23, 2023

Exhibit B—Department Head Comments

Prior to opening the public hearing, Staff had received comment from the following agencies and departments:

- Bellevue Fire Department
- Bellevue Marshall's Office
- Bellevue Water and Sewer Department
- Bellevue City Engineer
- Triangle Irrigation District

All agency comments received were transmitted to the Commission.

Exhibit C— Public Comments

The following written public comments were received prior to the Council making their decision:

- Wood River Land Trust
- Project Big Wood (dated May 9, 2025, May 16, 2025, and May 20, 2025)
- LeeAnn Fairfield
- Jeanne Liston
- Doro Schinella
- Sarah Lurie

All public comments received were transmitted to the Council.

Oral public testimony was received by the Council during the public hearing and is reflected in the minutes of the respective meetings.

II. LOT LINE ADJUSTMENT STANDARDS OF EVALUATION

BELLEVUE CITY CODE SECTION 11-6-1

11-6-1: PROCEDURE:

An owner or subdivider wishing to readjust lot lines, as defined in section 11-2-1 of this title, shall be required to file two (2) copies of a plat and application with the Administrator for administrative review. Additional information reasonably required for thorough review of the application and plat may be required by the Administrator to be provided by the applicant.

Waivers shall be requested according to chapter 13 of this title. The Council shall remand any application and/or waiver request to the commission for recommendation prior to taking final action. The Administrator shall provide written notice of said application to owners of property immediately adjacent to the subject property. Said notice shall inform adjacent property owners

they may comment on the application during a period of not less than ten (10) days after mailing of the notice and prior to final action on said application. Following expiration of the said comment period and upon a finding by the Administrator that the plat conforms to the readjustment of lot line definition and is in compliance with the provisions of this title, the Administrator shall approve same or approve with conditions necessary to find same in compliance with the provisions of this title. Upon a finding by the Administrator that the application does not conform to said definition or is not in compliance with this title, the Administrator shall deny the application and shall state the reasons therefor in writing, and a copy signed by the Administrator, attached to one copy of the plat, shall be returned to the applicant. Upon Council approval of an application and upon satisfaction by the applicant of any conditions attached thereto, the Administrator shall inform the City Clerk and the City Clerk shall sign the plat. Any questions with regard to the interpretation and/or applicability of this section or other sections shall be referred to the Council by the Administrator for determination.

FACTS: The applicant has submitted a preliminary plat to the Administrator, along with additional clarifying information and documentation.

The applicant's narrative has specifically requested waivers of Bellevue City Code.

The Administrator properly noticed the public hearing.

The plat submitted shows a reconfiguration of six (6) existing parcels into three (3).

The subject property is zoned B – Business.

The proposed lots are 17,990, 18,017, and 23,960 square feet in size.

The minimum lot size in the B – Business zone is 6,000 square feet.

The proposed parcels identified on the preliminary plat as Lots 2A and 3A each have 149.98 feet of street frontage.

The minimum street frontage in the B – Business zone is fifty (50) feet.

The proposed parcel identified as Lot 1A does not have any developed street frontage, but does abut public rights-of-way.

The submitted preliminary plat includes a plat note stating “No building shall be constructed on Lot 1A until a time when an approved access to the lot is developed.”

The Bellevue Canal runs through the subject property and the undeveloped portions of the Walnut and Chestnut Street rights-of-way to the north and south of the subject property, respectively.

The subject property abuts the Howard Preserve and Big Wood River.

Public testimony received during the public hearings indicated a desire for public access through or public ownership of the parcel identified on the preliminary plat as Lot 1A.

The applicant’s authorized representative stated several times during the public hearings that the goal of the applicant was to create a fee-simple parcel (proposed Lot 1A) to enable the extension of the Howard Preserve. No other proposed uses for any of the properties were identified in the record.

FINDINGS: The applicant has submitted a complete application, including additional information and written requests for waivers of Bellevue City Code.

The public hearings on the subject application were properly noticed and conducted.

The proposed lot configuration meets the applicable zoning and subdivision standards for parcels within the B – Business zone, except for the required street frontage of the proposed Lot 1A.

Due to the sensitive environment surrounding the proposed Lot 1A, it is preferable to not construct additional roadway to the property until a time that development should occur, which is consistent with Plat Note #10 on the submitted preliminary plat.

Due to the topography, presence of the Bellevue Canal and Big Wood River, and existing conservation easements on the property surrounding the subject property, extension of Walnut and Chestnut Streets is infeasible, and would not serve properties other than the subject property.

CONCLUSION: As conditioned herein, the subject application meets the requirements for granting approval of a lot line adjustment application.

II. WAIVER STANDARDS OF EVALUATION

BELLEVUE CITY CODE SECTION 11-13-1

11-13-1: WAIVERS:

A. Commission Recommendation; Council Approval: Waiver of any of the requirements of this title may be granted by the Council on a case basis upon the recommendation of the commission.

B. Application For Waiver:

1. Application for such waiver(s) must be in writing and must show that there are special physical characteristics or conditions affecting the property in question where a literal enforcement of this title would result in undue hardship not the result of actions by the subdivider, and that the waiver would not be detrimental to the public welfare, health, and safety, nor injurious to the property owners in the immediate area.

FACTS: The applicant has submitted a written request for waivers of Bellevue City Code.

The applicant requested that the buildable area of the proposed Lots 2A and 3A in relation to the location of the Bellevue Canal be expanded beyond the top of the bank.

The applicant submitted documentation from the Triangle Irrigation and Wood River Irrigation District consenting to the expanded building area subject to construction of proper retainage.

Bellevue City Code has no specific setback requirements from irrigation canals.

The applicant requested a waiver from the requirements of Bellevue City Code Section 11-4-6(C) to identify building envelopes on corner lots outside of a seventy-five foot (75') radius from the center point of the intersection of adjacent streets.

All proposed parcels identified on the submitted preliminary plat have rights-of-way on two (2) or more sides.

Only the right-of-way to the east of the subject property is currently developed.

The Bellevue Canal runs through the subject property and the undeveloped portions of the Walnut and Chestnut Street rights-of-way to the north and south of the subject property, respectively.

The subject property abuts the Howard Preserve and Big Wood River.

The proposed Lot 1A has an identified building footprint located outside of any seventy-five foot (75') radii from the centers of the adjacent undeveloped rights-of-way.

The applicant has requested a waiver of Bellevue City Code Section 11-4-8(B) requiring the right-of-way to the east of the subject property be improved to adopted City Standards.

The applicable City Standard street section generally requires a twenty-two foot (22') wide paved traveled way, two feet (2') of shoulder on each side, and drainage swales on either side.

The applicant has provided an alternative street section showing a twenty foot (20') wide gravel traveled way, no shoulders, and a drainage swale on one side of the roadway.

Above-ground electrical power transmission and distribution lines are currently situated within the right-of-way.

A small structure is located within the right-of-way near the intersection of Chestnut Street and the right-of-way to the east of the subject property.

The portions of Walnut and Chestnut Streets west of Main Street are not currently paved.

Idaho Power does not have a specified setback requirement between roadways and power poles, but requires a reasonably safe roadway design in regard to the siting of poles.

Idaho Power has a setback requirement of ten feet (10') from power lines to structures.

FINDINGS: Expanding the buildable area of proposed lots 2A and 3A with respect to the top of bank and proximity to the irrigation canal is not a waiver of Bellevue City Code, and is allowable provided adequate design and assurances to the Triangle Irrigation and Wood River Irrigation District are made to ensure safe and efficient function of the Bellevue Canal is maintained.

Because of the presence of the canal and the conservation easement on the Howard Preserve, the undeveloped Walnut and Chestnut Street rights-of-way are unlikely to ever be improved and used as roadways. As such, the proposed lots 2A and 3A are unlikely to ever function as corner lots, and the requirements of Bellevue City Code Section 11-4-6(C) are not applicable.

Construction of the wider City Standard roadway would require relocation of the power poles to provide a safe separation between the roadway and the poles.

While the location of the power transmission lines constrains the available space to construct roadway and drainage improvements, the record fails to establish that the requirement to pave the roadway constitutes an undue hardship.

The permitted and conditionally permitted uses available to the proposed Lot 1A would likely lead to impacts to traffic and roadway use along Riverside Drive.

The plat note stating “No building shall be constructed on Lot 1A until a time when an approved access to the lot is developed” does not satisfactorily alleviate concerns of traffic impacts or the lack of developed street frontage along Lot 1A.

The Council is supportive of the desired extension of the Howard Preserve into the proposed Lot 1A, and doing so would alleviate traffic concerns and would eliminate the need for dedicated improved street frontage to the lot.

CONCLUSION: The requested waivers for the expanded building area relative to the Bellevue Canal and the corner lot building envelopes are not waivers of Bellevue City Code, and therefore are not required to be in compliance with the standards of this section.

Because of the special physical site-specific conditions of the rights-of-way in the immediate vicinity of the subject property, improving the right-of-way to the east of the subject property would create an undue hardship, and therefore the applicant's request for a waiver to construct the street to City Standards is granted, except that the roadway must be improved with asphalt.

2. Applications shall be made to the Administrator in writing at the time of subdivision application. Said waiver, together with such related data and maps as are necessary to fully illustrate the relief sought, shall be filed at the same time. Such application shall be processed and considered with the preliminary plat application.

FACTS: The applicant has submitted a preliminary plat to the Administrator, along with additional clarifying information and documentation.

The applicant's narrative has specifically requested waivers of Bellevue City Code.

FINDINGS: The applicant has submitted a complete application, including additional information and written requests for waivers of Bellevue City Code.

CONCLUSION: The application was complete and adequate, and this standard has been met.

III. DECISION AND ORDER

► **Motion:** Upon a Motion by Council Member Shay and a second by Council Member Davis, and Council Members Davis, Obenauf, and Shay, and Mayor Giordani voting in favor, and Council Members Bergin, Mahoney, and Wrede voting in opposition, the Bellevue Common Council hereby **approves** of the subject application submitted by Judy & Keith Meyers, finding the application **complies** with the applicable criteria set forth in Bellevue City Code, subject to the following conditions of approval (Council additions to Staff and Planning & Zoning recommended conditions underlined, deletions in strikethrough):

1. No building shall encroach into the space between the top of the eastern bank (elevation of the street or alley) of the canal and east high water mark of the canal, unless otherwise allowed per Diversion 45 Right of Way Agreement. This Agreement shall be recorded prior to final plat recordation.
2. Prior to the issuance of a building permit for the proposed parcel identified on the submitted preliminary plat as Lot 1A, the applicant shall receive approval from the City and construct a suitable vehicular and pedestrian access to the property.
3. Prior to the submittal of a final plat application, the applicant shall construct all required improvements, including improving the roadway within right-of-way to the east of the subject property from Walnut Street to Chestnut Street to the specifications provided in the

Alley Improvements Exhibit provided by the applicant, except that the roadway shall be paved with asphalt with a minimum width of twenty feet (20').

4. Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying an easement for the Bellevue Canal District and documentation that the proposed easement has been reviewed and accepted by the Bellevue Canal District.
5. Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying the ordinary high water mark and a twenty foot (20') wide fisherman's easement along the landward side of the ordinary high water mark.
6. No construction or grading shall occur until the Bellevue City Engineer has reviewed and approved the construction drawings.
7. Prior to the submittal of a final plat application, the applicant shall provide a recorded memorandum of intent that the property owner and the Wood River Land Trust will enter into an Option to Purchase Agreement for the purchase of the property identified on the preliminary plat as Lot 1A.
8. Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat with a note stating "Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report."

Notice of Expiration

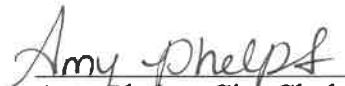
Pursuant to Bellevue City Code Section 11-3-4(D), failure to obtain final plat approval by the Council of an approved preliminary plat within one year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void. No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.

IT IS SO ORDERED this 14th day of July, 2025



Christina Giordani, Mayor

ATTEST:


 Amy Phelps, City Clerk



**CERTIFICATE OF ACTION TAKEN BY
THE WOOD RIVER VALLEY IRRIGATION DISTRICT #45**

The undersigned hereby certifies that at the February 10th, 2026 meeting of the Board of Directors of the Wood River Valley Irrigation District #45 reviewed the matter of the **Keith Myers Property Development in Bellevue** for:

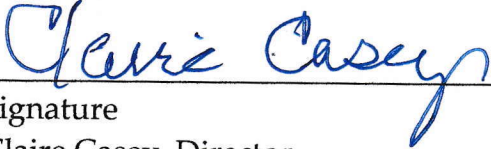
Bellevue Block 96 – Myers Easement dated January 2026

With the following results:

RESOLVED, THAT the District has reviewed the final plat drawing identifying an easement for the D45 main canal that runs on the east side of the Big Wood River just below the D45 diversion main head gate. The district has agreed to allow permanent construction in the form of a retaining wall or building, to be placed no closer than 14 feet in parallel as measured eastward of the east mean high water mark for the Keith Myers property development in Bellevue. WRVID#45 has reviewed and accepted the proposed canal easement shown on the final plat for Bellevue Block 96, 1A, 2A, and 3A.

After discussion, and on motion by Director Clark and seconded by Director Berman, this Action was unanimously approved.

DATED: February 10th, 2026



Signature
Claire Casey, Director

CITY OF BELLEVUE
PLANNING & ZONING COMMISSION

REGARDING AN APPLICATION OF: Keith and Judy Meyers for final plat approval of the Lots 1A, 2A, and 3A, Block 96, Bellevue Townsite Subdivision.	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION
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DESCRIPTION: A final plat to reconfigure the existing six (6) parcels into three (3) parcels.

The property is zoned B – Business.

The Bellevue Planning and Zoning Commission held a properly noticed public hearing on February 17, 2026 at which time the Commission voted to recommend approval of the subject application as conditioned herein.

I. GENERAL BACKGROUND

1. **Notice** of this hearing was:
 - i. Published in the *Idaho Mountain Express* on January 28, 2026
 - ii. Posted on-site on January 22, 2026.
 - iii. Mailed to all property owners within 300’ of the exterior property lines on January 22, 2026.
2. The Commission was asked to disclose any conflicts of interest or *ex parte* communications on the subject application. No conflicts or *ex parte* communication were identified.

3. Attached to this report are the following exhibits:

Document Name	Receipt of Last Revision
Application	December 23, 2025
Final Plat	January 21, 2026
Application Narrative	December 23, 2025
Letter from Triangle Irrigation and Wood River Irrigation District #45	January 21, 2026
Title Report	December 23, 2026
Memorandum of Understanding between Property Owner and Wood River Land Trust	February 6, 2026
Drywell Infiltration Test Results	December 23, 2026
Record Drawings	December 23, 2026
Bid for Outstanding Construction	December 23, 2026
Findings of Fact, Conclusions of Law, and Decision from LLA-25-01	July 14, 2025

Exhibit B— Public Comments

Prior to opening the public hearing, Staff had not received any public comment.

II. FINAL PLAT STANDARDS OF EVALUATION

BELLEVUE CITY CODE SECTION 11-3-4

11-3-4(A): PROCEDURE:

After approval of the preliminary plat, the subdivider shall cause the subdivision to be surveyed

and a final plat to be prepared in conformance with the preliminary plat as approved, and Idaho Code title 50, chapter 13. Upon completion of said final plat, the subdivider shall file same, together with the final plat application and all other documents required, with the Administrator including eight (8) copies thereof. Then the Administrator shall place said final plat on the commission's meeting agenda.

If the final plat conforms to all requirements of this title, other applicable ordinances and resolutions of the City, all conditions placed upon the preliminary plat by the Council, and all requirements of Idaho Code, the Commission shall recommend approval of said final plat to the Council. In the event that the Commission finds the final plat does not comply with this title or other applicable ordinances and resolutions of the City or does not substantially conform to the approved preliminary plat, the Commission shall deny said final plat.

When submitted to the Administrator, the final plat shall bear all required certificates. Thereafter, the Administrator shall place the final plat upon the Council's meeting agenda for a duly noticed public hearing.

FACTS: The applicant received preliminary lot line adjustment approval by the Bellevue Common Council on July 14, 2025.

The preliminary lot line adjustment was found to be in conformance with the requirements of Title 11, Bellevue City Code and other applicable ordinances except where conditions of approval required modifications or enabled waivers of standards.

The applicant has provided a finalized Right of Way Agreement with the Diversion 45 Board of Control.

The applicant has commenced construction on required improvement has provided cost estimates to bond for the remaining infrastructure.

The applicant has provided a finalized easement agreement with the Diversion 45 Board of Control as noted on the face of the final plat.

The applicant has provided a recorded Option to Purchase Agreement with the Wood River Land Trust for the purchase of Lot 1A.

The final plat includes a note which states “Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report.”

FINDINGS: The proposed final plat is in compliance with Title 11, Bellevue City Code, and other applicable ordinances.

The conditions of approval placed upon the preliminary plat have been satisfied.

CONCLUSION: The subject application meets the requirements for granting approval of a final plat application.

II. DECISION AND ORDER

► **Motion:** Upon a Motion by Commissioner Beiser and a second by Commissioner Grootveld, a unanimous vote, the Bellevue Planning and Zoning Commission hereby **recommends approval** of the subject application submitted by Keith and Judy Meyers, finding the application **complies** with the applicable criteria set forth in Bellevue City Code, subject to the following conditions of approval:

1. Prior to recordation of the final plat, the applicant shall receive final engineering approval.

2. Prior to recordation of the final plat, the applicant shall provide an irrevocable performance bond in the amount of \$93,801 in accordance with the requirements of Bellevue City Code Section 11-4-3.
3. Prior to the release of the irrevocable performance bond, the applicant shall:
 - a. Complete the installation of outstanding improvements.
 - b. Receive approval and acceptance of all improvements by the City Engineer.
 - c. Provide final as-built plans and specifications of all installed improvements.

Notice of Expiration

Pursuant to Bellevue City Code Section 11-3-4(D), failure to obtain final plat approval by the Council of an approved preliminary plat within one year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void. No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.

IT IS SO ORDERED this 2nd day of MARCH, 2026


 John Kurtz
 Chair


 Brian Parker
 Community Development Director



FP-25-02

Staff Report

TBD Lewis Lane

Bellevue Planning & Zoning Commission

February 17, 2026

Lots 1A, 2A, and
3A, Block 96
Final Plat

Executive Summary

Description

A final plat to reconfigure the existing six (6) parcels into three (3) parcels. The property is zoned B – Business. The preliminary lot line adjustment was approved by the Bellevue Common Council on July 14, 2025.

Discussion

- The applicant is requesting to reconfigure the existing six (6) parcels located on the subject property into three (3) parcels.
 - o The proposed parcel identified as Lot 1A is 23,960 square feet, with an identified building envelope of approximately 2,000 square feet identified.
 - o The proposed parcel identified as Lot 2A is 17,790 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 7,000 square feet.
 - o The proposed parcel identified as Lot 3A is 18,017 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 6,700 square feet.
- The subject property is zoned B – Business. The subject property is adjoined by the Howard Preserve to the north and west, partially developed land to the east, an a vacant industrially zoned property to the south.

On July 14, 2025, the Bellevue Common Council approved the preliminary lot line adjustment for the subject application with the following conditions of approval:

Number	Condition	Status
1	No building shall encroach into the space between the top of the eastern bank (elevation of the street or alley) of the canal and east high water mark of the canal, unless otherwise allowed per Diversion 45 Right of Way Agreement. This Agreement shall be recorded prior to final plat recordation.	
2	Prior to the issuance of a building permit for the proposed parcel identified on the submitted preliminary plat as Lot 1A, the applicant shall receive approval from the City and construct a suitable vehicular and pedestrian access to the property.	Not Applicable to this application

Number	Condition	Status
3	Prior to the submittal of a final plat application, the applicant shall construct all required improvements, including improving the roadway within right-of-way to the east of the subject property from Walnut Street to Chestnut Street to the specifications provided in the Alley Improvements Exhibit provided by the applicant, except that the roadway shall be paved with asphalt.	Satisfied with bonding
4	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying an easement for the Bellevue Canal District and documentation that the proposed easement has been reviewed and accepted by the Bellevue Canal District.	
5	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying the ordinary high water mark and a twenty foot (20') wide fisherman's easement along the landward side of the ordinary high water mark.	Satisfied
6	No construction or grading shall occur until the Bellevue City Engineer has reviewed and approved the construction drawings.	Complete
7	Prior to the submittal of a final plat application, the applicant shall provide a recorded memorandum of intent that the property owner and the Wood River Land Trust will enter into an Option to Purchase Agreement for the purchase of the property identified on the preliminary plat as Lot 1A.	Satisfied
8	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat with a note stating "Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report."	Satisfied

Project Location



Project Analysis

Description

A final plat to reconfigure the existing six (6) parcels into three (3) parcels. The property is zoned B – Business. The preliminary lot line adjustment was approved by the Bellevue Common Council on July 14, 2025.

Legal Description

Lots 1-6, Block 96, Original Plat of Bellevue Townsite, located within Section 36, Township 2 North, Range 16 East, B.M., City of Bellevue, Blaine County, Idaho.

Associated Documents

Document Name	Receipt of Last Revision
Application	December 23, 2025
Final Plat	January 21, 2026
Application Narrative	December 23, 2025
Letter from Triangle Irrigation and Wood River Irrigation District #45	January 21, 2026
Title Report	December 23, 2026
Memorandum of Understanding between Property Owner and Wood River Land Trust	February 6, 2026
Drywell Infiltration Test Results	December 23, 2026
Record Drawings	December 23, 2026
Bid for Outstanding Construction	December 23, 2026
Findings of Fact, Conclusions of Law, and Decision from LLA-25-01	July 14, 2025

Public Noticing

Notice	Date
Political Subdivisions	January 22, 2026
Property Owners within 300 feet	January 22, 2026
Site Posting	January 22, 2026
Publication in <i>Idaho Mountain Express</i>	January 28, 2026

Dimensional Standards

Standard	Required	Proposed
Minimum Lot Size	6,000 square feet	17,990 square feet
Minimum Lot Width	50 feet	149.98 feet

Required Findings Code Sections

Bellevue City Code Section 11-6-1: Procedure

An owner or subdivider wishing to readjust lot lines, as defined in section 11-2-1 of this title, shall be required to file two (2) copies of a plat and application with the Administrator for administrative review. Additional information reasonably required for thorough review of the application and plat may be required by the Administrator to be provided by the applicant. Waivers shall be requested according to chapter 13 of this title. The Council shall remand any application and/or waiver request to the commission for recommendation prior to taking final action. The Administrator shall provide written notice of said application to owners of property immediately adjacent to the subject property. Said notice shall inform adjacent property owners they may comment on the application during a period of not less than ten (10) days after mailing of the notice and prior to final action on said application. Following expiration of the said comment period and upon a finding by the Administrator that the plat conforms to the readjustment of lot line definition and is in compliance with the provisions of this title, the Administrator shall approve same or approve with conditions necessary to find same in compliance with the provisions of this title. Upon a finding by the Administrator that the application does not conform to said definition or is not in compliance with this title, the Administrator shall deny the application and shall state the reasons therefor in writing, and a copy signed by the Administrator, attached to one copy of the plat, shall be returned to the applicant. Upon Council approval of an application and upon satisfaction by the applicant of any conditions attached thereto, the Administrator shall inform the City Clerk and the City Clerk shall sign the plat. Any questions with regard to the interpretation and/or applicability of this section or other sections shall be referred to the Council by the Administrator for determination.

Bellevue City Code Section 11-3-4: Final Plat

- A. Procedure: After approval of the preliminary plat, the subdivider shall cause the subdivision to be surveyed and a final plat to be prepared in conformance with the preliminary plat as approved, and Idaho Code title 50, chapter 13. Upon completion of said final plat, the subdivider shall file same, together with the final plat application and all other documents required, with the Administrator including eight (8) copies thereof. Then the Administrator shall place said final plat on the commission's meeting agenda.

If the final plat conforms to all requirements of this title, other applicable ordinances and resolutions of the City, all conditions placed upon the preliminary plat by the Council, and all requirements of Idaho Code, the Commission shall recommend approval of said final plat to the Council. In the event that the Commission finds the final plat does not comply with this title or other applicable ordinances and resolutions of the City or does not substantially conform to the approved preliminary plat, the Commission shall deny said final plat.

When submitted to the Administrator, the final plat shall bear all required certificates. Thereafter, the Administrator shall place the final plat upon the Council's meeting agenda for a duly noticed public hearing.

- B. Contents Of Plat: The final plat shall be drawn at such a scale and shall be in conformance with the provisions of Idaho Code title 50, chapter 13. The reverse side of said sheet shall not be used for any portion of the drawing. The contents of the final plat shall include all items required under Idaho Code title 50, chapter 13, and shall also include:
1. Point of beginning of subdivision description tied to at least two (2) government survey corners, or in lieu of government survey corners, to monuments recognized by the City Engineer.
 2. Location and description of monuments.
 3. Tract boundary lines, property lines, lot lines, street right- of-way lines and centerlines, building envelopes as required on the preliminary plat, lot area of each lot, boundaries of the floodplain and floodway and the Avalanche District, all with bearings of accurate dimensions in feet and decimals thereof, in degrees and minutes, and radii, arcs, central angles, tangents, and chord lengths of all curves to the above accuracy.
 4. Names and locations of all adjoining subdivisions.
 5. Name and right-of-way width of each street and other public rights-of-way.
 6. Location, dimension, and purpose of all easements, public and private.
 7. The lots numbered consecutively throughout each block.
 8. The outline of any property other than a street, alley, or easement which is offered for dedication to public use, fully dimensioned by distances and bearings with the area marked "Dedicated to the City of Bellevue for Public Use", together with any other descriptive language with regard to the precise nature of the use of the land so dedicated.
 9. The title shall include the name of the subdivision, the name of the City, if appropriate, County and State, and the location and description of the subdivision referenced to section, township, and range.
 10. Scale, north arrow, and date.
 11. Location, width and names of all existing or dedicated streets and other public ways within or adjacent to the proposed subdivision.
 12. A provision in the owner's certificate referencing the County Recorder's instrument number where the condominium declaration(s) and/or Articles of Incorporation of the Homeowners' Association governing the subdivision are recorded.
 13. Certificate by a registered engineer or surveyor preparing the map certifying to the accuracy of surveying plat.
 14. A current title report of all property contained within the plat.
 15. Certification of the owner(s) of record and all holders of security interest(s) of record with regard to said property.
 16. Certification and signature of the engineer (surveyor) verifying that the subdivision and design standards meet all City requirements.
 17. Certification and signature of the City Engineer verifying that the subdivision and design standards meet all City requirements.
 18. Certification and signature of the City Clerk verifying that the subdivision has been approved by the Council.
 19. Notation of any additional restrictions imposed by the Council on the development of said subdivision to provide for the public health, safety, and welfare.
 20. A copy of the recorded final plat.

21. Two (2) sets of as built drawings, certified as complete by the project engineer, of all public streets, the public water system, the public sewer system and all utilities.
- C. Acceptance Of Dedications: Approval of the final plat by the Council shall constitute acceptance of all dedications for public streets, rights-of-way, easements, and other lands dedicated for public purpose or use as shown thereon. As a condition precedent to the acceptance of any streets or required improvements, the Council shall require that the subdivider install said improvements in accordance with the City or other applicable construction standards and that condition shall be noted on the final plat.
- D. Time Limitations: The failure to obtain final plat approval by the Council of an approved preliminary plat within one year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void. No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.
- E. Copies Of Plat:
1. Three (3) copies of the final plat shall be filed with the Administrator prior to being placed upon the commission's agenda. Three (3) copies of the final plat as approved by the Council and signed by the City Clerk shall be filed with the Administrator and retained by the City.
 2. The final plat shall show a minimum of two (2) Blaine County survey control monuments with ties to the property and an inverse between the two (2) monuments. The survey control monuments shall be clearly identified on the face of the plat.
 3. In addition to all other copies of the final plat required hereunder, an electronic CAD file shall be submitted to the Blaine County Recorder's Office concurrent with the recording of the final plat containing the following data:
 - a. The line work delineating all lots, parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and
 - c. Line work that reflects the ties and inverses for the survey control monuments shown on the face of the plat shall be shown on a CAD layer/level designated as "control".
 4. All information within the electronic file shall be CD oriented, and scaled to grid per the Idaho State Plane Coordinate System, Central Zone, NA D1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a "dwg", "dgn" or "shp" format and shall be submitted on a CD or a flash drive. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
 5. Any digital submittal will convey the rights to Blaine County, Idaho (herein also referred to as "Blaine County") for use within its GIS, and acceptance of digital data by Blaine County absolves the surveyor of any liability related to the electronic submittal as set forth by Blaine County in Blaine County resolution 2002-54.
 6. The technical requirements of subsections E3, E4 and/or E5 of this section may, from time to time, be amended by resolution of the City Council.

Code Sections of Interest

Bellevue City Code Section 11-2-1: Rules of Word Construction; Definitions:

ALLEY: A minor public way providing secondary access to the back or the side of property otherwise abutting a street.

BUILDING ENVELOPE: The site for location of a structure delineated on a preliminary plat and final plat within which the entire building or other structures must be constructed.

EASEMENT: A grant by a property owner to a specific person(s) or the public right to use land for specific purpose(s). Also, such a right acquired by prescription.

FLOODPLAIN: The relatively flat area or low land adjoining the channel of a stream, river, lake or other body of water which is subject to the hazards and inundation of a 100-year frequency, as identified and defined in the Flood Insurance Study and Flood Boundary and Floodway Map prepared by the Federal Insurance Administration of the U.S. Department of Housing and Urban Development in conjunction with the U.S. Army Corps of Engineers.

LOT, BUILDABLE: A lot of sufficient size to meet minimum zoning requirements for use, coverage, and area and to provide such yards and other open spaces as are herein required. Structures shall only be built upon buildable lots.

READJUSTMENT OF LOT LINES: A change or modification of the boundary lines between existing lots or parcels of land or between dwelling units which does not reduce the area, frontage, width, depth, or building setback lines of such lots below the minimum zoning requirements and which does not create additional lots or dwelling units. Readjustment of lot lines is intended to include other minor changes to a subdivision, condominium or townhouse plat such as, but not limited to, notation changes, boundary shifts and removal of lot line(s), each of which does not reduce the area, frontage, width, depth, or building setback lines of each lot below the minimum zoning requirements nor create additional lots or dwelling units.

STANDARD SPECIFICATIONS: Specifications for design and construction of improvements as specified in this title or other ordinances or resolutions of the City of Bellevue or by any other governmental entity having jurisdiction thereover, including subsequent amendments or codifications.

STREET: A public right-of-way, which provides vehicular and pedestrian access to adjacent properties, the dedication of which has been officially accepted. The term street also includes the terms, highway, thoroughfare, parkway, road, avenue, boulevard, lane, place, and all such terms, except driveway, as herein defined.

WAIVER: Modification of a relevant provision and regulation of this title not contrary to public interest or public health, safety, or welfare, and due to physical characteristics of the particular parcel of land and not the result of actions of the subdivider where literal enforcement of this title would result in undue hardship. The granting of waiver(s) shall be upon written application, and the granting thereof rests with the sound discretion of the commission and Council, on a case by case basis.

Bellevue City Code Section 11-4-3: Performance Bond:

Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the City Engineer. However, in cases

where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the City Council may accept in lieu of any or all of the required improvements a performance bond filed with the City Clerk to insure actual construction of the required improvements as submitted and approved. Said performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the City Engineer. In the event the improvements are not constructed within the time allowed by the City Council (which shall be 1 year or less, depending upon the individual circumstances), the Council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the City for the additional costs thereof. The cost of installing required improvements that exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.

Bellevue City Code Section 11-4-6: Lots:

- A. Lot size, width, depth, shape, orientation, and minimum building setback lines shall be in compliance with the zoning district in which the property is located; and compatible with the location of the subdivision and the type of development; and preserve solar access to adjacent properties and buildings.
- B. Whenever a proposed subdivision contains lot(s) in whole or in part within the floodplain, or which contain land with a slope in excess of twenty five percent (25%) based upon natural contours, or create corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, provide open space and solar access for each lot and structure, and preserve hillside view corridors. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses, and topographical features.
- C. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the center point of the intersection of the streets unless otherwise approved as defined in subsection 10-6-5C of this Code.
- D. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.
- E. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts. Should a double frontage lot be created out of necessity, then such lot shall be a reversed frontage lot.
- F. Minimum lot sizes in all cases shall be reversed frontage lot(s).
- G. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public or approved private street.

Bellevue City Code Section 11-4-7: Blocks:

The length, width, and shape of blocks within a proposed subdivision shall conform to the following requirements:

- A. No block shall be longer than one thousand feet (1,000') nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.

- B. Blocks shall be laid out in such a manner as to comply with the lot requirements.
- C. The layout of blocks shall take into consideration the natural topography of the subdivision and minimize cuts and fills for roads and minimize adverse impact on the environment, watercourses, and topographical features.
- D. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.

Bellevue City Code Section 11-4-8: Streets:

- A. The arrangement, character, extent, width, grade, and location of all streets put in the proposed subdivision shall conform to the Comprehensive Plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land.
- B. All streets shall be constructed to meet or exceed the criteria and standards set forth in the City Standard Specifications for Streets and Water, and all other applicable ordinances, resolutions, or regulations of the City, or any other governmental entity having jurisdiction thereover, now existing or hereafter adopted, amended or codified.
- C. Where a subdivision abuts or contains an existing or proposed arterial street, railroad, or limited access highway right-of-way, the Council may require a frontage street, planting strip, or similar design features.
- D. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods.
- E. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven-tenths percent (0.7%) so as to provide for adequate drainage and snow plowing.
- F. In general, partial dedications shall not be permitted. However, the Council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the Council finds it practical to require the dedication of the remainder of the right-of-way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right-of-way shall be dedicated.
- G. Dead-end streets shall be permitted as deemed appropriate by the Council when providing for future connectivity to adjacent lands and are in compliance with International Fire Codes regarding turnarounds.
- H. A cul-de-sac or similar type street shall be permitted as deemed appropriate by the Council which complies with International Fire Codes regarding turnarounds.
- I. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°).
- J. Where any street deflects any angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets and one hundred twenty five feet (125') for minor streets.
- K. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited.
- L. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets.
- M. Proposed streets, which are continuations of existing streets, shall be given the same names as the existing streets. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County. The subdivider shall obtain approval of all street names

within the proposed subdivision from the commission before submitting same to the Council for preliminary plat approval.

- N. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills.
- O. Street patterns of residential areas shall be designed to create areas free of through traffic but readily accessible to adjacent collector and arterial streets.
- P. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider.
- Q. In general, the centerline of streets shall coincide with the centerline of the street right-of-way, and all crosswalk markings shall be installed by the subdivider as a required improvement.
- R. Street lighting may be required by the commission or Council, where appropriate, and shall be installed by the subdivider as a requirement improvement.
- S. Private streets complying with the International Fire Codes shall be allowed as deemed appropriate by the Council.
- T. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City.
- U. Wherever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, said construction or improvement shall be a required improvement by the subdivider. Said construction or improvement shall be in accordance with adopted standard specifications therefor.
- V. Sidewalks, curbs, and gutters may be a required improvement installed by the subdivider.
- W. Prior to final plat signature, the first chip sealing applied to new dedicated streets and applicable private streets shall be completed by the developer or bonded for by the developer for any subdivision, planned unit development or condominium plat.

Bellevue City Code Section 11-4-9: Alleys

Alleys shall be provided in commercial and light industrial zoning districts, and may be required in residential districts. The width of an alley shall be not less than twenty five feet (25'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead-end alleys shall comply with the International Fire Codes regarding turnaround requirements. Improvement of alleys shall be done by the subdivider as a required improvement and in conformance with design standards specified in subsection 11-4-8B of this chapter.

Bellevue City Code Section 11-4-10: Easements:

Easements, as set forth hereinafter, shall be required for location of utilities and other public services to provide adequate pedestrian circulation and access to public waterways and lands:

- A. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all streets.
- B. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain said watercourse and provide access for private maintenance and/or reconstruction of said watercourse.

C. All subdivisions which border the Big Wood River or any tributary shall dedicate a twenty foot (20') fisherman and unaltered riparian easement along the river bank. Furthermore, the Council shall require in appropriate areas an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.

D. All subdivisions which border on the Big Wood River or any tributary shall dedicate a one hundred foot (100') floodplain management easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.

E. All subdivisions through which appropriate access to public lands are found to exist shall dedicate reasonable public access easements thereto as part of the subdivision traffic circulation.

F. No ditch, pipe, or structure for irrigation water or irrigation wastewater shall be constructed, rerouted, or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights thereto. A written copy of such approval shall be filed as part of required improvement construction plans.

G. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City. Such improvements may be calculated towards required park land dedication requirements as set forth in the adopted Bellevue Parks Master Plan.

Bellevue City Code Section 11-4-16: Utilities

In addition to the terms mentioned hereinabove, all utilities including, but not limited to, electricity, natural gas, telephone, and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.

Bellevue City Code Section 12-5-1: General Standards:

In all Special Flood Hazard Areas the following provisions are required:

- A. A Riparian Protection Setback is hereby established one hundred feet (100') back from the mean high-water mark of the Bigwood River within the City. The following activities and improvements are prohibited within the Riparian Protection Setback:
 - 1. New Construction;
 - 2. Placement of structures, except fences and maintenance thereof;
 - 3. Placement of fill or dirt or other materials;
 - 4. Removal of any live vegetation, except for leaning or diseased trees that are hazardous of life or property (provided) the root balls shall not be removed in order to protect against erosion of the river bank) with prior written confirmation of such condition by a certified Arborist unless a bona fide emergency to life or property exists, and noxious weeds;
 - 5. Planting non-native vegetation, including grass, shrubs and trees;

6. Storage of materials and/or equipment before, during or after any construction or excavation on an adjacent area.

Exceptions:

1. Planting of native riparian vegetation;
 2. Maintenance of non-native grasses, shrubs and trees existing on the effective date of this title;
 3. Emergency bank stabilization activities pursuant to all required federal, state and City permits; and
 4. Construction of public roads, and of public utilities and other structures pursuant to all required by city, state and federal permits; and
 5. Maintenance of deed or dedicated public pathways, and the maintenance of existing private pathways, and the creation and maintenance of one private pathway on each parcel of land of not more than eight (8) feet in width down to the river.
- B. All new construction, substantial improvements, and development shall be designed (or modified) and adequately anchored to prevent flotation, collapse, and lateral movement of the structure.
 - C. All new construction, substantial improvements, and development shall be constructed with materials and utility equipment resistant to flood damage in accordance with the Technical Bulletin 2, Flood Damage-Resistant Materials Requirements, and available from the Federal Emergency Management Agency.
 - D. All new construction, substantial improvements, and development shall be constructed by methods and practices that minimize flood damages.
 - E. All new and replacement electrical, heating, ventilation, plumbing, air conditioning equipment, and other service facilities shall be designed and/or located so as to prevent water from entering or accumulating within the components during conditions offloading to the Flood Protection Elevation. These include, but are not limited to, HVAC equipment, water softener units, bath/kitchen fixtures, ductwork, electric/gas meter panels/boxes, utility/cable boxes, hot water heaters, and electric outlets/switches.
 - F. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system.
 - G. All new and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharges from the systems into flood waters.
 - H. On-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
 - I. A fully enclosed area, of new construction and substantially improved structures, which is below the lowest floor shall:
 1. Be constructed entirely of flood resistant materials at least to the Flood Protection Elevation; and
 2. Include, in Zones A, AE, AH, AO, and A1-30, flood openings to automatically equalize hydrostatic flood forces on walls by allowing for the entry and exit of floodwaters. To meet this requirement, the openings must either be certified by a professional engineer or architect or meet or exceed the following minimum design criteria:
 - a. A minimum of two (2) flood openings on different sides of each enclosed area subject to flooding;
 - b. The total net area of all flood openings must be at least one (1) square inch for each square foot of enclosed area subject to flooding;

- c. If a building has more than one enclosed area, each enclosed area must have flood openings to allow floodwaters to automatically enter and exit;
 - d. The bottom of all required flood openings shall be no higher than one foot (1') above the interior or exterior adjacent grade;
 - e. Flood openings may be equipped with screens, louvers, or other coverings or devices, provided they permit the automatic flow of floodwaters in both directions; and
 - f. Enclosures made of flexible skirting are not considered enclosures for regulatory purposes, and, therefore, do not require flood openings. Masonry or wood underpinning, regardless of structural status, is considered an enclosure and requires flood openings as outlined above.
- J. Any alteration, repair, reconstruction, or improvements to a structure, which is in compliance with the provisions of this ordinance, shall meet the requirements of "new construction" as contained in this title.
 - K. Nothing in this title shall prevent the repair, reconstruction, or replacement of a building or structure existing on the effective date of this title and located totally or partially within the floodway, flood fringe area, or stream setback, provided there is no additional encroachment below the Flood Protection Elevation in the floodway, flood fringe area, or stream setback, and provided that such repair, reconstruction, or replacement meets all of the other requirements of this title.
 - L. New solid waste disposal facilities and sites, hazardous waste management facilities, salvage yards, and chemical storage facilities shall not be permitted, except by variance as specified in subsection [12-4-5I](#). A structure or tank for chemical or fuel storage incidental to an allowed use or to the operation of a water treatment plant or wastewater treatment facility may be located in a Special Flood Hazard Area only if the structure or tank is either elevated or floodproofed to at least the Flood Protection Elevation and certified in accordance with the provisions of subsection [12-4-3C](#).
 - M. All subdivision proposals and other development proposals shall be consistent with the need to minimize flood damage and determined to be reasonably safe from flooding.
 - N. All subdivision proposals and other development proposals shall have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
 - O. All subdivision proposals and other development proposals shall have adequate drainage provided to reduce exposure to flood hazards.
 - P. All subdivision proposals and other development proposals shall have received all necessary permits from those governmental agencies for which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 USC § 1334.
 - Q. When a structure is partially located in a Special Flood Hazard Area, the entire structure shall meet the requirements for new construction and substantial improvements.
 - R. When a structure is located in multiple flood hazard zones or in a flood hazard risk zone with multiple base flood elevations, the provisions for the more restrictive flood hazard risk zone and the highest Base Flood Elevation (BFE) shall apply.

Comprehensive Plan Analysis

Chapter 5 – Land Use – Business (B)

Bellevue’s downtown and business area is linear and centered along State Highway 75 (Main Street) through the middle of the city. The business area is generally constrained to the west by the drop in slope toward the river and to the east by the original platting and residential development over the city’s nearly 135-year history. This land use area allows permitted businesses that include but are not limited to: business, professional, medical offices; public buildings, gas stations; restaurants, bars, theaters, banks, motels, tourist uses, retail outlets; public utilities, repair/personal services, storage, public parking lots and garages, car washes; and churches.

There are 65.271 acres in Bellevue classified as business as of September, 2015. This inventory includes: 138 lots ranging in size from 0.068 to 8.46 acres; 22 vacant lots totaling 16.273 acres; and 22 vacant lots totaling 16.273 acres; and 22 legally nonconforming properties on 8.292 acres that the City desires to be redeveloped for business purposes. Bellevue has in excess of 24.565 acres (or 37.6%) of business zoned property that is either vacant or under- developed.

Currently a mix of non-conforming uses exists within the business zone. These “grandfathered” uses are allowed to continue, although current zoning ordinances do not allow for expansion of these nonconforming uses.

The Bellevue Business Park on the north edge of town has expanded the business core with the addition of a large grocery store, bank, and garden center. As the business park has developed, this end of town has become a hub of activity. Sidewalks have made pedestrian circulation easier, safer, and more inviting.

Chapter 5 – Land Use – Objective 3:

Support recreation and open space uses when available and appropriate.

Actions

1. Investigate areas where such uses may be possible.
2. Ensure parks and open spaces complement adjacent zones and vice versa by addressing aesthetics and health and safety issues through design principles.
3. Maintain parks and open spaces for residents and visitors.
4. Identify and maintain non-motorized connections between parks and open spaces.
5. Maintain an appropriate open space visual separation between Bellevue and Hailey to preserve Bellevue’s unique identity and its rural small-town character

Chapter 6 – Natural Resources – Surface Water

Bellevue is in the Big Wood River watershed. The availability of water was a lure to early settlers and irrigation played a major role in city’s development. The Big Wood River runs the entire length of the Wood River Valley and eventually flows into Magic Reservoir, providing habitat for many species and recreation opportunities to residents and visitors. Affected by seasonal fluctuations in runoff from snowmelt, the annual peak flow is ordinarily reached the first week of June. The water year ends in September at the lowest flows. Thunderstorms may result in increased flow and turbidity. At the Howard Preserve, a diversion dam diverts water from the river into a canal system that runs approximately 34 miles to irrigate agricultural lands south of Bellevue. The Board of Control of the

Triangle Irrigation District and the Wood River Irrigation District #45 manages the dam and canal jointly. Typical annual diversion is 380 CFS, drawn April 15 to October 31.

Chapter 6 – Natural Resources – Objective 2:

Ensure that developments are designed to minimize impacts to wildlife habitat and river function along the Big Wood River.

Actions

1. Allow the natural meander of the Big Wood River and reinforce its banks only where necessary to protect existing infrastructure.
2. Stabilize river and stream banks with native riparian vegetation; rehabilitate existing vegetation within the 100-foot riparian non-disturbance area.
3. Evaluate and minimize vegetation removal within the 100-foot riparian non-disturbance area.
4. Follow state Best Management Practices for construction and rehabilitation actions undertaken within 100 feet of the stream.
5. Maintain perennial vegetative cover on soils to protect them from erosion.
6. Work with developers to ensure east/west migration corridors are preserved across the valley.

Chapter 10 – Recreation – Big Wood River Access

The Big Wood River is considered a navigable stream as defined by Idaho Code which allows the public to use such streams, provided entrances and exits adjacent to a public right of way. Public rights of way to the Big Wood River within the City include: Chantrelle Subdivision, Broadford Road Bridge, Howard Preserve (Elm Street/Martin Lane/Old City Park), and Riverside Ranch Subdivision. There are approximately 3.3 miles of trails in Bellevue leading to and along the Big Wood River. The trails connect Chantrelle Subdivision, Howard Preserve, and Riverside Ranch Subdivision.

Discussion

- The applicant is requesting to reconfigure the existing six (6) parcels located on the subject property into three (3) parcels.
 - o The proposed parcel identified as Lot 1A is 23,960 square feet, with an identified building envelope of approximately 2,000 square feet identified.
 - o The proposed parcel identified as Lot 2A is 17,790 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 7,000 square feet.
 - o The proposed parcel identified as Lot 3A is 18,017 square feet. No building envelope is identified on this parcel. The area east of the proposed canal easement area is approximately 6,700 square feet.
- The subject property is zoned B – Business. The subject property is adjoined by the Howard Preserve to the north and west, partially developed land to the east, and a vacant industrially zoned property to the south.

On July 14, 2025, the Bellevue Common Council approved the preliminary lot line adjustment for the subject application with the following conditions of approval:

Number	Condition	Status
1	No building shall encroach into the space between the top of the eastern bank (elevation of the street or alley)	

Number	Condition	Status
	of the canal and east high water mark of the canal, unless otherwise allowed per Diversion 45 Right of Way Agreement. This Agreement shall be recorded prior to final plat recordation.	
2	Prior to the issuance of a building permit for the proposed parcel identified on the submitted preliminary plat as Lot 1A, the applicant shall receive approval from the City and construct a suitable vehicular and pedestrian access to the property.	Not Applicable to this application
3	Prior to the submittal of a final plat application, the applicant shall construct all required improvements, including improving the roadway within right-of-way to the east of the subject property from Walnut Street to Chestnut Street to the specifications provided in the Alley Improvements Exhibit provided by the applicant, except that the roadway shall be paved with asphalt.	Satisfied with bonding
4	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying an easement for the Bellevue Canal District and documentation that the proposed easement has been reviewed and accepted by the Bellevue Canal District.	
5	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat identifying the ordinary high water mark and a twenty foot (20') wide fisherman's easement along the landward side of the ordinary high water mark.	Satisfied
6	No construction or grading shall occur until the Bellevue City Engineer has reviewed and approved the construction drawings.	Complete
7	Prior to the submittal of a final plat application, the applicant shall provide a recorded memorandum of intent that the property owner and the Wood River Land Trust will enter into an Option to Purchase Agreement for the purchase of the property identified on the preliminary plat as Lot 1A.	Satisfied
8	Prior to the submittal of a final plat application, the applicant shall submit a revised preliminary plat with a	Satisfied

Number	Condition	Status
	note stating “Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report.”	

Comments

Agency/Department Comments

To date, Staff has received comment from the following agencies and departments:

- Bellevue Fire Department
- Bellevue Marshall’s Office
- Bellevue Water and Sewer Department
- Bellevue City Engineer
- Triangle Irrigation District

All agency comments received to date are attached for reference.

Public Comments

No public comments have been received to date.

Recommendations

Actions

Based upon the record provided to date, Staff recommends approval of the subject application with the conditions of approval identified below. Suggested motion:

“I move that we recommend FP-25-02 to the Bellevue Common Council for approval with the conditions identified within the Staff Report, and to direct Staff to prepare Findings of Fact, Conclusions of Law, and Decision documents reflecting this recommendation based on the record provided.”

Conditions of Approval

1. Prior to recordation of the final plat, the applicant shall receive final engineering approval.
2. Prior to recordation of the final plat, the applicant shall provide an irrevocable performance bond in the amount of \$93,801 in accordance with the requirements of Bellevue City Code Section 11-4-3.
3. Prior to the release of the irrevocable performance bond, the applicant shall:
 - a. Complete the installation of outstanding improvements.
 - b. Receive approval and acceptance of all improvements by the City Engineer.
 - c. Provide final as-built plans and specifications of all installed improvements.

Notice of Expiration

Pursuant to Bellevue City Code Section 11-3-4(D), failure to obtain final plat approval by the Council of an approved preliminary plat within one year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void. No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.

CITY OF BELLEVUE

COMMON COUNCIL

REGARDING AN APPLICATION OF: Keith and Judy Meyers for final plat approval of the Lots 1A, 2A, and 3A, Block 96, Bellevue Townsite Subdivision.	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION
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DESCRIPTION: A final plat to reconfigure the existing six (6) parcels into three (3) parcels.

The property is zoned B – Business.

The Bellevue Planning and Zoning Commission held a properly noticed public hearing on February 17, 2026 at which time the Commission voted to recommend approval of the subject application as conditioned herein. The Findings of Fact, Conclusions of Law, and Decision reflecting this recommendation was adopted by the Commission on March 16, 2026.

I. GENERAL BACKGROUND

1. **Notice** of this hearing was:
 - i. Published in the *Idaho Mountain Express* on March 25, 2026
 - ii. Posted on-site on March 23, 2026.
 - iii. Mailed to all property owners within 300’ of the exterior property boundaries on March 23, 2026.
2. The Council was asked to disclose any conflicts of interest or *ex parte* communications on the subject application. No conflicts or *ex parte* communication were identified.

3. Attached to this report are the following exhibits:

Document Name	Receipt of Last Revision
Application	December 23, 2025
Final Plat	January 21, 2026
Application Narrative	December 23, 2025
Letter from Triangle Irrigation and Wood River Irrigation District #45	January 21, 2026
Title Report	December 23, 2026
Memorandum of Understanding between Property Owner and Wood River Land Trust	February 6, 2026
Drywell Infiltration Test Results	December 23, 2026
Record Drawings	December 23, 2026
Bid for Outstanding Construction	December 23, 2026
Findings of Fact, Conclusions of Law, and Decision from LLA-25-01	July 14, 2025
Certificate of Action Taken by Wood River Valley Irrigation District #45	February 10, 2026
Planning & Zoning Commission Findings of Fact, Conclusions of Law, and Decision	March 16, 2026

Exhibit B— Public Comments

Prior to opening the public hearing, Staff had not received any public comment.

II. FINAL PLAT STANDARDS OF EVALUATION

BELLEVUE CITY CODE SECTION 11-3-4

11-3-4(A): PROCEDURE:

After approval of the preliminary plat, the subdivider shall cause the subdivision to be surveyed and a final plat to be prepared in conformance with the preliminary plat as approved, and Idaho Code title 50, chapter 13. Upon completion of said final plat, the subdivider shall file same, together with the final plat application and all other documents required, with the Administrator including eight (8) copies thereof. Then the Administrator shall place said final plat on the commission's meeting agenda.

If the final plat conforms to all requirements of this title, other applicable ordinances and resolutions of the City, all conditions placed upon the preliminary plat by the Council, and all requirements of Idaho Code, the Commission shall recommend approval of said final plat to the Council. In the event that the Commission finds the final plat does not comply with this title or other applicable ordinances and resolutions of the City or does not substantially conform to the approved preliminary plat, the Commission shall deny said final plat.

When submitted to the Administrator, the final plat shall bear all required certificates. Thereafter, the Administrator shall place the final plat upon the Council's meeting agenda for a duly noticed public hearing.

FACTS: The applicant received preliminary lot line adjustment approval by the Bellevue Common Council on July 14, 2025.

The preliminary lot line adjustment was found to be in conformance with the requirements of Title 11, Bellevue City Code and other applicable

ordinances except where conditions of approval required modifications or enabled waivers of standards.

The applicant has provided a finalized Right of Way Agreement with the Diversion 45 Board of Control.

The applicant has commenced construction on required improvement has provided cost estimates to bond for the remaining infrastructure.

The applicant has provided a finalized easement agreement with the Diversion 45 Board of Control as noted on the face of the final plat.

The applicant has provided a recorded Option to Purchase Agreement with the Wood River Land Trust for the purchase of Lot 1A.

The final plat includes a note which states “Fill of unknown origin was placed on Lot 1A. Any building permit application for Lot 1A is required to be accompanied by a geotechnical report.”

FINDINGS: The proposed final plat is in compliance with Title 11, Bellevue City Code, and other applicable ordinances.

The conditions of approval placed upon the preliminary plat have been satisfied.

CONCLUSION: The subject application meets the requirements for granting approval of a final plat application.

II. DECISION AND ORDER

► **Motion:** Upon a Motion by Council Member and a second by Council Member, a unanimous vote, the Bellevue Common Council hereby **approves** of the subject application submitted by Keith and Judy Meyers, finding the application **complies** with the applicable criteria set forth in Bellevue City Code, subject to the following conditions of approval:

1. Prior to recordation of the final plat, the applicant shall receive final engineering approval.
2. Prior to recordation of the final plat, the applicant shall provide an irrevocable performance bond in the amount of \$93,801 in accordance with the requirements of Bellevue City Code Section 11-4-3.
3. Prior to the release of the irrevocable performance bond, the applicant shall:
 - a. Complete the installation of outstanding improvements.
 - b. Receive approval and acceptance of all improvements by the City Engineer.
 - c. Provide final as-built plans and specifications of all installed improvements.

Notice of Expiration

Pursuant to Bellevue City Code Section 11-3-4(D), failure to obtain final plat approval by the Council of an approved preliminary plat within one year after approval by the Council shall cause all approvals of said preliminary plat to be null and void. The final plat shall be filed with the Blaine County Recorder within one year after final plat approval by the Council. Failure to file said final plat within that time shall cause all approvals of said final plat to be null and void.

No building permit shall be issued with regard to any parcel of land within a proposed subdivision until the final plat has been recorded. A copy of the final recorded plat shall be placed on file with the City. For good cause shown, the deadlines in this section may be extended

for up to twelve (12) months. The Council shall hold a duly noticed public hearing prior to granting said extension.

Pursuant to Bellevue City Code Section 11-4-3, the applicant shall complete all required improvements held by performance bonding within one (1) year after approval by the Council. Failure to complete improvements will result in the City completing the bonded improvements at the expense of the applicant.

IT IS SO ORDERED this 13th day of APRIL, 2026

Christina Giordani, Mayor

ATTEST:

Amy Phelps, City Clerk



Memorandum

To: Bellevue Common Council

From: Brian Parker, Community Development Director

Re: TA-25-01 – Cleanup Amendment Public Hearing

Date: April 13, 2026

Background

The Community Development Department maintains notes on the City of Bellevue’s Zoning (Title 10), Subdivision (Title 11), and Floodplain (Title 12) ordinances throughout the summer for opportunities to improve the existing code for readability, consistency, enforcement, and similar. These notes are then compiled into a “cleanup” amendment to be processed over the winter. The intent of this amendment is not to introduce or significantly change policies, but rather to improve the existing policies in code.

The Council conducted a work session on the proposed amendments at the November 24, 2025 meeting. The Bellevue Planning & Zoning Commission conducted a properly noticed public hearing on January 5, 2026 and unanimously recommended approval of the draft ordinance. On February 9, 2026, the Council conducted a public hearing and voted to table the subject application to allow for staff to research and revise the following matters:

Topic	Current Standards	Analysis
Definition of “Stream Bank”	Currently labeled “Bank” in 10-2-1	As “banks” are a permitted use in several zones, the mismatch of the definition of the edge of a watercourse did not make sense, thus the suggestion to add the word “Stream” to the label. The Planning & Zoning Commission suggested adding the word “riparian” to the definition for clarity. At the February 9, 2026 Council meeting, there was discussion of matching the definition of “Ordinary High Water Mark” in Idaho Statute. This definition is specific to encroachment permitting for lakes, and is therefore not an appropriate definition for Bellevue as there are no lakes in the City.

Topic	Current Standards	Analysis
Accessory Dwelling Unit Approval Process	Administrative Approval, standards and procedures primarily located within definition of "Accessory Dwelling Unit"	There are no changes proposed to the permitting or standards for accessory dwelling units. The revisions are simply relocating requirements to appropriate locations.
Recreational Vehicle Occupancy	Permitted as an accessory use in the GR zone for twenty-one (21) consecutive days within a six (6) month period.	The current ordinance is difficult to monitor and enforce. During the February 9, 2026 meeting, the Council expressed a preference for a permitting system. Staff has developed a permitting system that should reduce administrative burden, provide flexibility to property owners, and be relatively easy to monitor and enforce.
Lot Line Adjustments	Subject to interpretation	The existing ordinance is very difficult to determine the appropriate standards and process. During the February 9, 2026 meeting, the Council expressed a desire to review lot line adjustment applications. The updated ordinance includes provisions that lot line adjustments must be approved by the Council.

Recommendation and Next Steps

The Council should conduct a public hearing on the proposed ordinance. Once the public hearing has been completed and the Council has adequately deliberated the proposed amendments, the following motion language is recommended by Staff:

1. *I move to approve the first reading of Ordinance No. 2026-XX by title only.*

OR

1. *I move to waive the three readings of Ordinance No. 2026-XX and read by title only*
2. *I move to approve Ordinance No. 2026-XX*
3. *I move to authorize the publication of the Summary of Ordinance No. 2026-XX*

Enclosures

1. Ordinance 2026-XX
2. Ordinance Summary

CITY OF BELLEVUE, IDAHO
ORDINANCE NO. 2026-_____

AN ORDINANCE OF THE CITY OF BELLEVUE, IDAHO, AMENDING BELLEVUE'S CITY CODE BY AMENDING TITLE 10, ZONING REGULATIONS, CHAPTERS 2, 3, 6, 7, 8, 9, 14, AND 22A, TITLE 11, SUBDIVISION REGULATIONS, CHAPTERS 6 AND 13, AND TITLE 12, FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTERS 4 AND 5 TO IMPROVE CLARITY AND ACCURACY; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Idaho Local Land Use Planning Act, Title 67, Chapter 65, provide authority for the City of Bellevue to adopt ordinances establishing land use standards, procedures, and uses; and

WHEREAS, Idaho Code §67-6511 and §67-6518 authorizes the city to set standards for private and public development and zoning standards for buildings and structures, where in accord with the adopted comprehensive plan; and

WHEREAS, the Bellevue Common Council strives for clear and accurate development regulations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, IDAHO, AS FOLLOWS:

SECTION 1

Title 10, Chapter 2: Definitions of the Bellevue City Code is hereby amended as follows:

CHAPTER 2 DEFINITIONS

10-2-1: DEFINITIONS:

**Note: For brevity and clarity, unmodified definitions have been omitted from this ordinance. All definitions identified in Bellevue City Code Section 10-2-1 that are not shown below remain as-is.*

ADU (ACCESSORY DWELLING UNIT):

An attached or detached dwelling which is secondary in nature to a primary ~~general residential unit, transitional unit, business unit, light industrial unit, light industrial/mixed business unit and~~

limited business/residential unit structure located on the same lot, that cannot be sold separately from the primary unit. An accessory dwelling unit provides complete, independent living facilities for one or more persons, including permanent facilities for living, sleeping, eating, cooking and sanitation, on the same lot as the primary unit. Accessory dwelling units may be allowed in conjunction with a general residential, transitional, business, light industrial, light industrial/mixed business and limited business/residential unit and are not to be constructed as an addition to a duplex or multi-family unit. Accessory dwelling unit sizes for the General Residential, Transitional, and Limited Business/Residential Districts shall comply with table A depicted below. Accessory dwelling units shall be subject to design review application approval. Accessory dwelling units shall be assessed for applicable water and sewer connections and a monthly user fee equal to a primary residence.

—TABLE A

Lot Size	Accessory Dwelling Unit Size (Gross Square Feet)
6,000 sq. ft. – 7,999 sq. ft.	600
8,000 sq. ft. – 9,999 sq. ft.	700
10,000 sq. ft. – 19,999 sq. ft.	850
20,000 sq. ft. – 1 acre	1,000
Over 1 acre	1,200

ACCESSORY USE:

A use or structure subordinate to the principal use on the same lot or premises and serving a purpose customarily incidental to the permitted use of the principal building. Accessory uses are authorized uses which do not require a conditional use permit. There shall be no accessory use in the Business, Light Industrial, and Limited Business/Residential Zoning Districts without an existing permitted primary use on the property in question.

BANK:

The ordinary high water level of a stream, river, lake or impoundment which, in the absence of evidence to the contrary, shall be presumed to be the edge of the vegetation growing along the shore.

CONTRACTOR'S STORAGE YARD:

Indoor or outdoor storage of building materials and equipment owned by the contractor and commonly used in the construction business, ~~provided the yard is entirely screened from all streets and other public ways by a solid fence six feet (6') in height or landscaping of at least eight foot (8') tall evergreen trees placed no more than every fifteen feet (15') apart with an automatic irrigation system installed to each.~~

DUPLEX:

A building which contains two (2) dwelling units ~~and two (2) separate kitchens.~~

PERMITTED USE:

An authorized use in a particular zone district which does not require a conditional use permit but which is subject to the restrictions particular to that district.

STREAM BANK:

The ordinary high water level of a stream, river, lake or impoundment which, in the absence of evidence to the contrary, shall be presumed to be the edge of the riparian vegetation growing along the shore.

SECTION 2

Title 10, Chapter 3: Administration and Enforcement of the Bellevue City Code is hereby amended as follows:

CHAPTER 3: ADMINISTRATION AND ENFORCEMENT

10-3-1: ADMINISTRATOR:

The Council shall appoint an Administrator to administer this title. The Administrator, commonly referred to as the Community Development Director, may be provided with the assistance of such other persons as the Council may direct. The Administrator's duties include, but are not limited to, the following:

- A. Advise interested citizens of the provisions of this title.
- B. Inform the news media regarding land use and zoning matters of public interest, particularly the time and place of public hearings.
- C. Prepare the agenda for the monthly meetings of the commission.
- D. Aid applicants in the preparation of required forms and permit applications. Where practical, he/she may combine related permits for the convenience of the applicant.

E. Investigate all violations of this title, and notify in writing the person responsible for such
 90 violation(s), ordering the action necessary to correct such violation.

F. Receive, file, and transmit to the commission or Council all applications, petitions,
 transcripts, and other communications on which they must act. Advise the commission and
 the Council of pertinent provisions of this title regarding development proposals.

G. Maintain permanent and current records of applications, reclassifications, variances, and
 95 conditional use permits and of the hearings and actions thereon.

H. Review and make, ~~or recommend~~, decisions as follows:

1. For applications identified in this Title as subject to administrative approval.

1. ~~Reductions in front yard setbacks to no less than 10 (ten) feet from the property line.~~

2. ~~The Administrator, with concurrence from the Chair or the Chair's designee, has the
 100 authority to review and grant design review approval of Accessory Dwelling Units
 (ADU's) in the General Residential (GR) Zoning District.~~

3. The Administrator, with concurrence from the Chair or the Chair's designee, has the
 105 authority to approve minor modifications to projects that have received design review
 approval by the Commission prior to, and for the duration of a valid building permit. The
 Administrator shall make the determination as to what constitutes minor modifications
 and may include, but are not limited to, changes to landscape plans, changes to approved
 colors and/or siding materials, changes to colors, changes to dumpster enclosures,
 changes to exterior lighting fixtures and location, or changes to windows that do not
 110 significantly affect project design, appearance or function. All approved modifications
 must be documented in a memo to the project file and on the approved set of plans on file
 with the building department. For modifications to design review approval that are
 determined by the administrator not to be minor, the Administrator has the authority to
 recommend approval or denial of such modifications, subject to final decision by the
 commission on its consent or new business agenda. Such recommendations for approval
 115 or denial shall be in the form of findings of fact, and conclusions of law.

SECTION 3

Title 10, Chapter 6: GR General Residential District of the Bellevue City Code is hereby
 amended as follows:

CHAPTER 6: GR GENERAL RESIDENTIAL DISTRICT

10-6-2: PERMITTED USES:

Permitted uses in this district are limited to the following:

~~Accessory buildings and uses.~~

~~Accessory dwelling: One accessory dwelling unit in addition to one single family dwelling unit.~~

125 ~~Accessory dwelling unit sizes shall comply with table A depicted in section 10-2-1 of this title and are subject to administrative design review approval.~~

Agriculture such as gardens, orchards, etc.

Churches, parks, playgrounds and golf courses.

130 Essential public utility and public service installations and facilities for the protection and welfare of the surrounding area, provided business offices and repair and storage facilities are not included.

Hospitals.

Medical clinics.

135 Multiple family dwellings, including townhouses, shall be allowed on no less than a six thousand (6,000) square foot lot per dwelling in the platted and unplatted portions of the City unless a reduced lot size is approved by the City through a planned unit development, annexation agreement, development agreement, design review or other similar process, or when the City deems it as a benefit for providing affordable housing. The Planning and Zoning Commission shall review and approve a design review application that requires a minimum of on-site parking

140 for single-family and two-family dwellings and access is off an improved street, not alley and there is compliance with front, rear and side setbacks. The approved reduced lot size shall not be less than three thousand (3,000) square feet per dwelling unit.

Nursery schools.

Nursing homes and sanitariums.

145 ~~One family dwellings, single family dwellings shall be allowed on not less than a six thousand (6,000) square foot lot in the City limits unless a reduced lot size is approved by the City through a planned unit development, annexation agreement, development agreement, design review or other similar process, or when the City deems it as a benefit for providing affordable housing. The City Planning and Zoning Commission shall review and approve a design review application that requires a minimum of on-site parking, access is off an improved street, not an alley, and there is compliance with front, rear and side setbacks. The approved reduced lot size shall not be less than three thousand (3,000) square feet per dwelling unit. Single family dwellings.~~

150

Public and private schools for elementary and high school education.

10-6-3: ACCESSORY USES:

155 The accessory uses for this district shall be limited to:

Farm and garden buildings/portable storage shed, greenhouse.

Accessory buildings and uses.

Accessory dwelling unit (ADU), subject to the following criteria:

1. The gross square footage of the ADU shall not exceed the amount identified below:

<u>Lot Size</u>	<u>Accessory Dwelling Unit Size (Gross Square Feet)</u>
<u>6,000 sq. ft. – 8,000 sq. ft.</u>	<u>600</u>
<u>8,000 sq. ft. – 10,000 sq. ft.</u>	<u>700</u>
<u>10,000 sq. ft. – 20,000 sq. ft.</u>	<u>850</u>
<u>20,000 sq. ft. - 1 acre</u>	<u>1,000</u>
<u>Over 1 acre</u>	<u>1,200</u>

2. Only one ADU shall be allowed per parcel.
3. ADUs are not to be constructed as an addition to a duplex or multi-family dwelling structure.
4. Accessory dwelling units are subject to administrative design review approval.
5. Accessory dwelling units are subject to a separate water and sewer capitalization fee from the primary structure in accordance with Title 8 of this Code.

Storage of boats, campers, and travel trailers by resident owners in off street parking areas.

Recreational Vehicle Occupancy: Occupancy of recreational vehicles, subject to the criteria identified in section 10-14-2 of this Title.

- ~~1. It shall be unlawful to occupy or for an owner of a lot or parcel to allow an RV to be occupied for more than twenty-one (21) consecutive days within any six (6) month period.~~
- ~~2. Occupied shall mean eating, sleeping, living, cooking or other use of the unit for human habitation.~~

10-6-4: CONDITIONAL USES:

Conditional uses in this district are limited to:

Governmental emergency service ~~WCFs~~ wireless communications facilities.

Home occupations.

Mobile home parks.

Nursery for children.

Public facilities.

180 Buildings in excess of twenty eight thousand (28,000) square feet in gross floor area, up to a
 maximum floor area not to exceed thirty six thousand (36,000) square feet in gross floor area.

10-6-5: DIMENSIONAL, BULK AND BUILDING COVERAGE STANDARDS AND REQUIREMENTS:

185 The dimensional, bulk and building coverage standards and requirements for this district are the
 following:

A. Minimum Lot Area: The minimum lot area in the City limits shall be six thousand (6,000)
 square feet in the platted portion and six thousand (6,000) square feet in the unplatted
 portion, unless a reduced lot size is approved by the City through a planned unit
 development, annexation agreement, development agreement or other similar process, or
 190 when the City deems it as a benefit for providing affordable housing. The approved
 reduced lot size shall not be less than three thousand (3,000) square feet per dwelling unit.

B. Minimum Lot ~~Width~~ Frontage: Fifty feet (50'), unless otherwise approved by the City
 through a planned unit development, annexation agreement, development agreement or
 other similar process, or when the City deems it as a benefit for providing affordable
 195 housing, ~~which is linked to an affordable housing.~~

C. Minimum Front Yard:

1. Minimum distance of any building from the front lot line: Twenty (20) feet, except all
 garage portions of a building shall remain at twenty five (25) feet. (Ord. 2015-02, 4-
 20-2015, amended Ord. 2019-05, 6-24-2019)

200 2. A ten foot (10') minimum distance of any building from the front lot line may be
 approved by the City through an ~~approved~~ design review application, ~~a planned unit
 development, annexation agreement, development agreement or other similar process.~~

Reduced setbacks shall be considered to encourage architectural features such as
 extended rooflines over entries, covered or enclosed on site parking and covered
 205 porches. All applications applying for reduced setbacks shall provide on site snow
 storage and parking. No building shall obstruct the vision triangle at an intersection.

Setbacks shall be measured from the extremities of the building to the property line.

3. Detached ~~Garden buildings/portable~~ storage shed structures and greenhouses ~~which
 do not require a City building permit, are less than one hundred twenty (120) square
 feet and shall not be used to house farm animals may have a minimum (front) setback
 210 from the property line of ten feet (10'). Setbacks for garden buildings/portable storage
 shed structures on a lot having dual street frontage shall be not less than ten feet (10')
 from the property line. The property owner shall be responsible for determining his or
 her property lines prior to placing the structure. Structures shall not restrict the~~

215 ~~minimum number of required on site vehicle parking spaces. The property owner~~
~~shall be responsible for removing the structure if it is placed over utilities. The~~
~~property owner shall comply with applicable CC&Rs. Maximum square footage for~~
~~the structures defined herein shall not exceed a single structure or multiple structures~~
220 ~~of two hundred (200) square feet per single family dwelling, utilizing the reduced~~
~~setbacks stated herein. All structures over one hundred twenty (120) square feet shall~~
~~obtain an approved building permit less than 120 square feet may utilize a ten foot~~
~~(10') front yard setback. Only one structure per parcel may utilize this provision.~~

D. Minimum Side and Rear Yards: (Minimum distance of any building from each side and rear lot lines.) These restrictions shall be followed in all cases:

- 225 1. ~~A ten foot (10') Minimum distance of any building from the front lot line may be~~
~~approved by the city through an approved design review application, a planned unit~~
~~development, annexation agreement, development agreement or similar process.~~
~~Reduced setback shall be considered to encourage architectural features such as~~
230 ~~extended rooflines over entries, covered or enclosed on site parking and covered~~
~~porches.~~
- 235 2. No residence or outbuilding shall be placed closer than six feet (6') from any side or rear property line, unless otherwise approved by the City through an approved design review application, a planned unit development, annexation agreement, development agreement or other similar process. The reduced side and rear property line setbacks shall not be less than four feet (4'). All applications proposing to utilize reduced setbacks shall provide on site snow storage and not obstruct the vision triangle at an intersection. Setbacks shall be measured from the extremities of the building to the property line.
- 240 3. There shall be nothing that would possibly obstruct the vision triangle placed closer than fifteen feet (15') from the property line at a corner or intersection. Any fences, shrubs, etc., that are placed on the property lines shall not exceed a height of three and one-half feet (31/2') where they could possibly interfere with vision at intersections.
- 245 4. Minimum front, side and rear yards for a townhouse development, multi-unit housing, nursing home, condominium, educational facility, church, and other institutional housing shall meet the same setback requirements as indicated in subsections C-1, D1 and D2 of this section; except, that townhouse development, multi-unit housing, nursing home, condominium, educational facility, church, and other institutional housing complexes shall be allowed zero setbacks from common wall lot lines.
- 250 5. ~~Garden buildings/portable storage shed structures and greenhouses which do not~~
~~require a City building permit, are less than one hundred twenty (120) square feet and~~
~~shall not be used to house farm animals may have a minimum side and rear setback~~
~~from the property line of ten feet (10'). Setbacks for garden buildings/portable storage~~
~~shed structures on a lot having dual street frontage shall not be less than ten feet (10')~~
255 ~~from the property line. The property owner shall be responsible for determining his or~~
~~her property lines prior to placing the structure. Structures shall not restrict the~~

~~minimum number of required on-site vehicle parking spaces. The property owner shall be responsible for removing the structure if it is placed over utilities. The property owner shall comply with applicable CC&Rs. The maximum square footage for the structures defined herein shall not exceed a single structure or multiple structures of two hundred (200) square feet per single family dwelling, utilizing the reduced setbacks stated herein. An approved building permit shall be obtained for all structures over one hundred twenty (120) square feet.~~

E. Maximum Floor Area:

1. The gross floor area for buildings in the GR zone shall not exceed thirty six thousand (36,000) square feet. All buildings in excess of twenty-eight thousand (28,000) square feet in gross floor area per lot or parcel shall apply for and obtain a conditional use permit, pursuant to chapter 10-15 of this Code. All buildings in excess of twenty-eight thousand (28,000) square feet shall have a minimum setback of ten feet (10').
2. Exemptions: Churches and public facilities, as defined in chapter 10-2, shall be exempt from the maximum floor area provision.

10-6-6: OTHER RESTRICTIONS:

- A. All residences shall be placed on a lot so that there shall be adequate parking for no fewer than two (2) cars. This parking shall be exclusively on the private property. City street property shall not be included.
- B. No residence shall be more than two (2) stories above ground level or thirty five feet (35'). Basements shall be excluded from such measurement.
- C. The maximum height of any accessory building, excluding structures containing accessory dwelling units, shall not be more than twenty feet (20'), and the height shall be measured from the lowest point of natural grade along the building foundation perimeter.
- D. Any permitted or conditionally permitted shop, hobby or small business activity in residential areas shall be ~~housed~~ enclosed in a structure.

- E. Only one house may be constructed on each residential lot.

SECTION 4

Title 10, Chapter 7: B Business District of the Bellevue City Code is hereby amended as follows:

**CHAPTER 7:
B BUSINESS DISTRICT**

10-7-2: PERMITTED USES:

Permitted uses for this district are limited to the following:

Business, professional, public or social services offices.

Gas stations, restaurants, bars, theaters, banks, motels, tourist homes, hotels, and car washes.

Nursery for children, nursing homes.

~~One accessory dwelling unit for each six thousand (6,000) square feet of lot area; provided, that it is: a) in the same building as the business use of the property; b) clearly ancillary and secondary to the business use which shall, by application, be the primary use of the property; c) of less square footage than the business use of the building; and d) in the back of and/or on an upper floor of the building so as not to adversely reduce the ground level, street frontage business space available. Accessory dwelling units shall be subject to administrative design review approval.~~

Public utility business offices, repair, and storage facilities.

Recreational facilities, including bowling alleys.

Repair and personal services.

Retail stores and related storage, including commercial nursery and building supply outlets.

Wireless communication facilities (WCFs) (see additional requirements in section 10-23-7 of this title).

10-7-3: ACCESSORY USES:

The accessory uses for this district include, but are not limited to, the following:

Temporary buildings incidental to construction work on the premises; such buildings to be removed upon completion of construction work.

One accessory dwelling unit for each six thousand (6,000) square feet of lot area; provided, that it is:

1. In the same building as the business use of the property;
2. Clearly ancillary and secondary to the business use which shall, by application, be the primary use of the property;
3. Of less square footage than the business use of the building; and
4. In the back of and/or on an upper floor of the building so as not to adversely reduce the ground level, street frontage business space available. Accessory dwelling units shall be subject to administrative design review approval.
5. Accessory dwelling units are subject to administrative design review approval.
6. Accessory dwelling units are subject to a separate water and sewer capitalization fee from the primary structure in accordance with Title 8 of this Code.

All accessory uses within this district must be accompanied by a permitted primary use on the property.

10-7-4: CONDITIONAL USES:

325 Conditional uses for this district are limited to the following:

Churches.

Governmental emergency service wireless communications facilities ~~WCFs~~.

Motor vehicle sales and leasing with no use of banners, flags, balloons and other display techniques except signage which complies with this title.

330 Parking lots and garages.

Public facilities.

Small engine repairs and maintenance incidental to the primary use.

Buildings in excess of twenty-eight thousand (28,000) square feet in gross floor area, up to a maximum floor area not to exceed thirty-six thousand (36,000) square feet in gross floor area.

335 **SECTION 5**

Title 10, Chapter 8: LB/R Limited Business/Residential District of the Bellevue City Code is hereby amended as follows:

CHAPTER 8: LB/R LIMITED BUSINESS/RESIDENTIAL DISTRICT

340 **10-8-2: PERMITTED USES:**

Permitted uses for this district are limited to the following:

~~Accessory dwelling unit: One accessory dwelling unit for each six thousand (6,000) square feet of lot area; provided, that it is in the same building as the business use of the property and is clearly ancillary and secondary to the limited business use which shall, by application, be the primary use of the property, is of less square footage than the limited business use of the building and is in the back of and/or on an upper floor of the building so as not to adversely reduce the ground level, street frontage business space available. Accessory dwelling units shall be subject to administrative design review approval.~~

345

Agriculture limited to small gardens or orchards for personal use. The keeping of farm animals including, but not limited to, horses, pigs, sheep, and cows will not be permitted except as grandfathered for such existing uses prior to the effective date hereof.

350

Business and professional offices including, but not limited to, legal, medical, dental, tax consulting and preparation (CPA), and other similar businesses.

Home occupations as defined in sections 10-2-1 and 10-14-3 of this title.

355 Multiple (two) family dwellings, including duplexes and townhouses. The minimum lot size for these applications shall be not less than twelve thousand (12,000) square feet.

Nursery schools for children.

Nursing or assisted living homes on a small scale.

Parks and playgrounds.

360 Personal services as defined in section 10-2-1 of this title.

Restaurants and bed and breakfast tourist homes with exceptions. No restaurants or other businesses shall have vehicle drive-through services.

Retail stores such as antique stores.

Single-family dwellings.

365 **10-8-3: ACCESSORY USES:**

The accessory uses for this district include the following:

Accessory dwelling unit (ADU), subject to the following criteria:

1. The gross square footage of the ADU shall not exceed the amount identified below:

<u>Lot Size</u>	<u>Accessory Dwelling Unit Size (Gross Square Feet)</u>
<u>6,000 sq. ft. – 8,000 sq. ft.</u>	<u>600</u>
<u>8,000 sq. ft. – 10,000 sq. ft.</u>	<u>700</u>
<u>10,000 sq. ft. – 20,000 sq. ft.</u>	<u>850</u>
<u>20,000 sq. ft. - 1 acre</u>	<u>1,000</u>
<u>Over 1 acre</u>	<u>1,200</u>

2. Only one ADU shall be allowed per parcel.

370 3. ADUs are not to be constructed as an addition to a duplex or multi-family dwelling structure.

4. Accessory dwelling units are subject to administrative design review approval.

5. Accessory dwelling units are subject to a separate water and sewer capitalization fee from the primary structure in accordance with Title 8 of this Code.

375 Accessory/garden buildings and other storage buildings not to exceed two hundred (200) square feet.

Detached garages for vehicle storage up to six hundred (600) square feet per six thousand (6,000) square foot lot. If additional lot(s) are included, the garage square footage may be increased by one hundred (100) square feet for every three thousand (3,000) square feet of additional land included, up to a maximum of one thousand two hundred (1,200) square feet.

380

Storage of boats, campers, and travel trailers by resident owners in off street parking areas.

Temporary buildings incidental to construction work on the premises; such buildings to be removed upon completion of construction work.

All accessory uses within this district must be accompanied by a permitted primary use on the property.

10-8-5: DIMENSIONAL AND BULK STANDARDS:

The minimum dimensional and bulk standards for limited business and residential applications in this district are the following: (Ord. 2015-02, 4-20-2015)

- A. Lot Area: The minimum lot area in this district shall be six thousand (6,000) square feet. One single-family dwelling shall be permitted for each six thousand (6,000) square feet. (Ord. 2015-02, 4-20-2015; amd. 2018 Code)
- B. Building Area: No building shall exceed three thousand (3,000) square feet gross floor area on a single six thousand (6,000) square foot lot. Credits for additional land area shall be two hundred fifty (250) square feet of gross floor area for each additional three thousand (3,000) square feet of land, providing for up to a maximum of four thousand (4,000) square feet gross floor area.
- C. Lot Width: Fifty feet (50') for single lot business or residential applications and one hundred feet (100') for two (2) lot or multiple (two) family dwellings.
- D. Front Yard: The distance of any building shall be twenty five feet (25') from the front yard lot line to the extremes of the building (such as roof overhang). Within the original platted part of the City, the front yard is defined as the opposite end of the lot from the platted alleyway.
- E. Side Yards: The distance of any building from each side lot line shall be six feet (6') and shall be measured from the extremes of the building.
- F. Rear Yard: The distance of any building from the rear lot line, or the side adjoining the alleyway, shall be six feet (6') measured from the extremes of the building.
- G. Safety And Vision: There shall be nothing that would possibly obstruct the view of a motorist or pedestrian placed closer than fifteen feet (15') from the corner of a lot adjoining a street intersection. Any fences, shrubs, or other objects that are placed within this area or on property lines shall not exceed a height of three and one-half feet (3 1/2') for a distance of thirty feet (30') from the corner of the lot. The branch overhang of any trees planted or existing within this area shall be maintained at a height of not less than ten feet (10') above the ground.
- H. Multiple (Two) Family Residences: Minimum front, side and rear yards for a townhouse development or a duplex shall meet the same setback requirements as indicated in this section; except that, townhouse units shall be allowed zero setbacks from the common wall lot lines created by a townhouse subplot.
- I. Nonconforming Building Setbacks: Any building that does not comply with the setback requirements of this section may be expanded and otherwise improved, provided such expansion or improvement does not encroach within any required setback and does not increase the degree of nonconformity.

- J. Building Height: No building shall be more than two (2) stories above ground level or thirty five feet (35') in height. No accessory building shall be more than twenty feet (20') in height, excluding structures containing accessory dwelling units.

425 **10-8-7: OTHER RESTRICTIONS:**

~~Any~~ permitted and conditionally permitted workshops, hobby craft, or small business activity in this district shall be ~~housed~~ enclosed in a structure and shall not create dust, noise, or odors perceptible from the exterior of the property.

SECTION 6

- 430 Title 10, Chapter 9: LI/B Light Industrial/Mixed Business District of the Bellevue City Code is hereby amended as follows:

**CHAPTER 9:
LI/B LIGHT INDUSTRIAL/MIXED BUSINESS DISTRICT**

10-9-2: PERMITTED USES:

- 435 Permitted uses for this district are limited to the following:

Business uses: professional, public or social services offices.

Contractor offices.

Food catering services.

- 440 Gas stations, restaurants, bars, theaters, banks, motels, tourist homes, hotels, hospitals, commercial nursery and car washes.

Nursery for children, nursing homes.

- 445 ~~One accessory dwelling unit for each six thousand (6,000) square feet of lot area; provided, that it is: a) in the same building as the business use of the property; b) clearly ancillary and secondary to the business use which shall, by application, be the primary use of the property; c) of less square footage than the business use of the building; and d) in the back of and/or on an upper floor of the building so as not to adversely reduce the ground level, street frontage business space available. Accessory dwelling units shall be subject to design review approval.~~

Public facilities.

Public utility business offices.

- 450 Recreational facilities, including bowling alleys.

Repair and personal services.

Retail stores and related storage, including commercial nurseries and building supply outlets.

10-9-3: ACCESSORY USES:

The accessory uses for this district include, but are not limited to, the following:

- 455 Temporary buildings incidental to construction work on the premises; such buildings to be removed upon completion of construction work.

One accessory dwelling unit for each six thousand (6,000) square feet of lot area; provided, that it is:

1. In the same building as the business use of the property;
2. Clearly ancillary and secondary to the business use which shall, by application, be the primary use of the property;
3. Of less square footage than the business use of the building; and
4. In the back of and/or on an upper floor of the building so as not to adversely reduce the ground level, street frontage business space available. Accessory dwelling units shall be subject to administrative design review approval.
5. Accessory dwelling units are subject to administrative design review approval.
6. Accessory dwelling units are subject to a separate water and sewer capitalization fee from the primary structure in accordance with Title 8 of this Code.

All accessory uses within this district must be accompanied by a permitted primary use on the property.

10-9-4: CONDITIONAL USES:

Conditional uses for this district are limited to the following:

Animal hospitals and kennels.

Assembly, light manufacturing processing, packaging, treatment, and fabrication of goods and merchandise, including laboratories and research offices, bottling and distribution plants, light repair facilities, and wholesale storage/distribution warehouses.

Auto detailing within an enclosed site built building.

Bulk storage of flammable liquids underground or gases, subject to the approval of the Fire Chief of the City Fire Department.

Churches.

Contractor storage yards, provided the yard is entirely screened from all streets and other public ways by a solid fence six feet (6') in height or landscaping of at least eight foot (8') tall evergreen

trees placed no more than every fifteen feet (15') apart with an automatic irrigation system installed to each.

Light industrial uses with commercial business outlets which remain primarily business rather than light industrial.

490 Machine shops, printing services.

Motor vehicle and RV sales, leasing, or renting with no use of banners, flags, balloons and other display techniques except signage which complies with this title.

Motor vehicle repairs, auto body repairs, vehicle detailing, sand blasting, repair shops, all completely enclosed in a site built building.

495 Outdoor nursery/primarily wholesale.

Outdoor storage/nonenclosed limited to building/landscape materials.

Self-storage units.

Buildings in excess of twenty-eight thousand (28,000) square feet in gross floor area, up to a maximum floor area not to exceed thirty-six thousand (36,000) square feet in gross floor area.

500 **SECTION 7**

Title 10, Chapter 10: LI Light Industrial District of the Bellevue City Code is hereby amended as follows:

CHAPTER 10: LI LIGHT INDUSTRIAL DISTRICT

505 **10-10-2: PERMITTED USES:**

Permitted uses for this district are limited to the following:

Animal hospitals and kennels.

Assembly, light manufacturing processing, packaging, treatment, and fabrication of goods and merchandise, including laboratories and research offices, bottling and distribution plants, light repair facilities, and wholesale storage/distribution warehouses.

510 Contractor offices.

Contractor storage yards, provided the yard is entirely screened from all streets and other public ways by a solid fence six feet (6') in height or landscaping of at least eight foot (8') tall evergreen trees placed no more than every fifteen feet (15') apart with an automatic irrigation system installed to each.

515

Food catering services.

Machine shops, printing services.

Motor vehicle repairs, auto body repairs, and vehicle detailing shops.

520 ~~One accessory dwelling unit shall be allowed for each six thousand (6,000) square feet of lot area, provided it is located on the same premises; provided, that it is in the same building as the business and is of a size and function that is clearly subordinate and ancillary to the light industrial use which shall be the primary use of the property. Accessory dwelling units shall be subject to administrative design review approval.~~

Outdoor nursery and commercial nursery.

525 Wireless communication facilities (WCFs) (see additional requirements in section 10-23-7 of this title).

10-10-3: ACCESSORY USES:

The accessory uses for this district include, but are not limited to, the following:

530 Accessory dwelling unit: One accessory dwelling unit for each six thousand (6,000) square feet of lot area; provided, that it is:

1. In the same building as the business use of the property and is clearly ancillary and secondary to the primary use.
2. Is of less square footage than the primary use of the building
- 535 3. Is in the back of and/or on an upper floor of the building so as not to adversely reduce the ground level, street frontage business space available.
4. Accessory dwelling units are subject to administrative design review approval.
5. Accessory dwelling units are subject to a separate water and sewer capitalization fee from the primary structure in accordance with Title 8 of this Code.

540 Incidental accessory retail sales comprising not more than twenty five percent (25%) of the net floor area of the principal permitted use. The area for such retail sales shall be calculated for each floor of a building by use and shall not be transferred between the floors of a building.

Temporary buildings necessary for construction work on the premises; such buildings to be removed upon completion or abandonment of construction work.

SECTION 8

545 Title 10, Chapter 14: General Zoning Provisions of the Bellevue City Code is hereby amended as follows:

CHAPTER 14: GENERAL ZONING PROVISIONS

10-14-2: ACCESSORY USES:

550 A. Recreational vehicle occupancy is subject to the following provisions:

1. Each active utility account in zoning districts where recreational vehicle occupancy is a permitted accessory use shall be provided annually with four (4) recreational vehicle occupancy permits.

- a. The recreational vehicle occupancy permit shall entitle one (1) recreational vehicle on the subject property to be occupied for up to fourteen (14) days from the start date marked on the permit.

- b. The permit shall be affixed to the recreational vehicle being occupied and visible from the street or alley nearest the recreational vehicle.

2. A recreational vehicle shall be presumed to be occupied if one or more of the following conditions are observed:

- a. Skirting or materials have been installed to enclose the underside of the recreational vehicle.

- b. Awnings, stairs, expandable alcoves, or similar features are deployed.

- c. The recreational vehicle is on stabilizing jacks.

- d. Lights are on in the recreational vehicle after hours in patterns that are consistent with occupancy of the recreational vehicle.

3. Any connection to the City of Bellevue water or sewer system must be in compliance with Title 8 of this code.

~~No provisions at this time. (2018 Code)~~

SECTION 9

Title 10, Chapter 22A: Signs of the Bellevue City Code is hereby amended as follows:

CHAPTER 22A: SIGNS

10-22A-2: DEFINITIONS:

575 **Note: For brevity and clarity, unmodified definitions have been omitted from this ordinance. All definitions identified in Bellevue City Code Section 10-2-1 that are not shown below remain as-is.*

BUILDING COMPLEX:

580 A building or group of buildings within a single architectural plan (~~like the NAPA building~~), housing two (2) or more commercial units separated by fire walls, and having their own outside entrance, or entrance from a common lobby like a mall, such as shopping centers, professional office buildings, etc. The building owner may elect to designate a building a complex.

CHASING SIGN

585 A neon or otherwise internally lighted sign in which individual parts, such as letters, alternate on or off in a pattern.

FREESTANDING SIGN:

590 Any sign separate from a building, being supported by itself or on legs. A sign structure constructed of multiple upright supports, or a monument style. ~~No single pole structures shall be allowed. All pole signs, excluding antiqued ornamental iron (like Southern Belle) or decorative logs, a minimum of fourteen inches (14") in diameter shall be designed and cased as a monument style sign structure.~~

PROJECTING SIGN:

A sign, other than a wall sign, which is attached to and projects from a structure or building face (~~like Oak Street Deli~~).

595 TEMPORARY BUSINESS SIGN:

A temporary business name sign that may be displayed until a permanent business sign is acquired. ~~A permit shall be acquired for such sign, and the display period shall not exceed thirty (30) days.~~

~~TEMPORARY SIGN:~~

600 ~~A sign which is not permanently affixed and has a limited display period, after which it is removed.~~

WINDOW SIGN:

Any sign installed within a building for the purpose of viewing from the outside.

10-22A-4: RESTRICTIONS; PROHIBITED SIGNS:

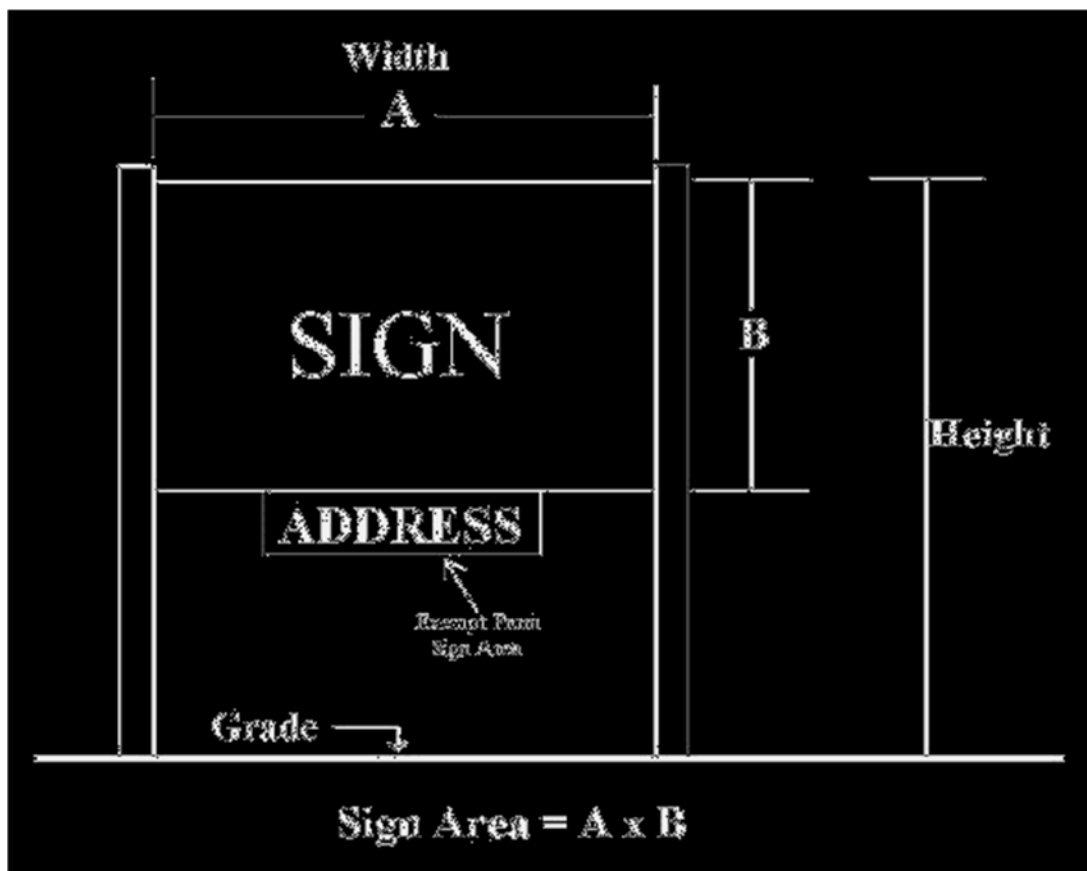
605 A. It shall be unlawful for any person to erect, construct, alter, maintain, or use any sign except as provided in this chapter.

- B. No sign shall be placed in or over any public right-of-way without receiving an approved encroachment permit from the applicable jurisdiction, ITD or the City, except for public signs such as traffic control and directional signs.
- 610 C. No sign in any zone shall be erected in such a manner as to obstruct the free and clear vision of vehicular traffic and pedestrians, or at any location where, by reason of similarity of position, shape, color, words or symbols, it may interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal or device.
- D. The following signs are prohibited or have specified restrictions in any zone:
- 615 1. Flashing, revolving, moving intermittent, or oscillating signs, parts, attachments or lights.
2. Roof signs.
3. Outdoor signs featuring visible neon tubes. ~~Neon signs on outsides of buildings unless neon tubes are used for indirect illumination of lettering, not themselves visible (like Valley Car Wash Hailey).~~
- 620 4. ~~Clocks shall be exempt.~~
5. Signs which advertise the sale of a product or business not located within the City.
6. Signs using "day-glo", fluorescent, or brilliant luminescent colored ~~or neon lit~~ backgrounds.
7. Any sign covering or obscuring windows, doors, storefronts, building entrances, or other
- 625 architectural elements.
8. Animated signs or part of a sign that changes physical position.
9. Single-pole freestanding signs.
- E. No banners or temporary signs may be used as permanent signs. After they have exceeded their allowed use time, they shall be taken down.

630 **10-22A-6: PERMITTED SIGNS STANDARDS FOR PERMITTED
NONRESIDENTIAL USES CONDUCTED ON SAME PREMISES (ON
SITE) IN BUSINESS, LIGHT INDUSTRIAL/MIXED BUSINESS, LIGHT
INDUSTRIAL AND LIMITED BUSINESS/RESIDENTIAL DISTRICTS:**

A. Sign Area:

- 635 1. Except as otherwise provided herein, the maximum allowable individual building
signage area for any permitted nonresidential use in the Business, Limited
Business/Residential, Light Industrial, and Light Industrial/Mixed Business Districts
shall not exceed two (2.0) square feet of sign area per linear foot of building frontage
up to a maximum of one hundred fifty (150) square feet per building. If the business
640 is located at the intersection of two (2) streets, a second sign may be located on the
nonaddress side, not to exceed ten (10) square feet.



2. Internally lighted signs shall not exceed a total of seventy five (75) square feet of sign
area per building.
- 645 3. Total combined signage area for multiple detached buildings on single parcels shall
not exceed two hundred (200) square feet of allowable signage area, ~~including, but~~
~~not limited to, wall, freestanding, portable and projecting.~~

4. A square footage bonus will be added to the total square footage allowed for each wall sign made of wooden materials or antiqued pre-aged metals, up to 10% of the allowable area of said wall sign. ~~in the Business, Limited Business/Residential, Light Industrial/Mixed Business and Light Industrial Districts. The bonus shall be equal to ten percent (10%) of the total square footage of each such approved sign.~~

B. Number Of Signs: ~~The maximum number of signs for a building complex including, but not limited to, portable A frame sidewalk signs, in the Business, Limited Business/Residential, Light Industrial/Mixed Business and Light Industrial Districts shall be as follows:~~ One (1) freestanding sign shall be allowed per nonresidential use, not to exceed sixty (60) square feet per side. One wall sign shall be allowed for each individual nonresidential business use not to exceed thirty (30) square feet each, and they shall have a common design. If a nonresidential use is located at the intersection of two (2) streets, a second wall sign may be located on the nonaddress side, not to exceed ten (10) square feet.. Wall signs and freestanding signs associated with the same nonresidential use shall have a common design.

C. Ranch Or Farm Identification Signs: Ranch or farm identification signs incorporated into the entry gate shall not exceed thirty (30) square feet per side.

D. Temporary Business Signs: Temporary business signs shall be permitted ~~after~~ with the approval of the application is given by the Planning and Zoning Administrator. Temporary business signage may be permitted for a period not to exceed thirty (30) days unless approved by the Administrator for a longer period, provided permanent signage has not been installed due to unavailability of signage components. Temporary business signage shall not exceed twenty (20) square feet at any one time for any parcel.

E. Inside Window Neon Signs: ~~Inside window neon signs are permitted~~ One nonflashing, nonchasing neon sign shall be permitted per nonresidential use, and must be located inside a window. The total of all such signs Such sign shall not exceed four (4) (1.5) square feet.

F. Art: Any art that is an integral part of the lettering shall be considered as part of the sign.

G. Illuminated Signs:

2. A sign lit by an external light source shall specifically illuminate the signage area.
3. Signs using backlighting or internal lighting shall only illuminate the signage area (letters-art). All other areas, including background, shall be designed, treated and

680 colored in a manner which makes those areas appear opaque.

H. ~~Neon Nonflashing, Nonchasing Signs: A maximum of one neon nonflashing, nonchasing sign shall be allowed per building, regardless of whether a sign permit is required, with a signage area not to exceed 1.5 square feet. All pole signs, unless constructed utilizing antiqued ornamental iron or decorative logs, shall have a pole diameter of fourteen inches (14") or greater, and shall be designed and cased to appear as a monument sign.~~

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I. Number of Signs for Building Complexes: One (1) freestanding sign shall be allowed per building complex, not to exceed sixty (60) square feet per side. One wall sign shall be allowed for each individual business within a building complex, not to exceed thirty (30) square feet each. Wall signs and freestanding signs associated with the same nonresidential uses within the complex shall have a common design.

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10-22A-8: EXEMPT SIGNS:

The following signs are exempt from provisions of this chapter:

A. All signs erected in a public right-of-way by a public agency controlling or directing traffic.

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B. Political signs pertaining to a specific election displayed within any district, provided they shall be removed within five (5) days after the election.

C. Real estate signs:

1. One unlighted real estate sign in any zone not to exceed four (4) square feet of sign area per side, provided it is located on the premises and shall not occupy any portion of the public right-of-way.

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2. One unlighted real estate sign advertising two (2) or more lots for sale not to exceed twenty (20) square feet in area per side, provided it is located on the premises and shall be removed upon the sale of the last lot.

3. One unlighted real estate sign advertising the sale or lease of a farm or ranch ten (10) square feet per side, provided it is located on the premises.
- 705
- D. One unlighted construction sign announcing the construction of a building or project, with sign area not to exceed twenty (20) square feet per side, provided the sign shall be removed upon occupancy of the building or sale of the land for which the sign was intended. Signs shall not be erected until a building permit is approved.
- 710
- E. Flags, either official or historical, of any state or nation. The pole height shall not exceed ten feet (10') above the real roofline, and the flag shall not exceed forty (40) square feet.
- F. One owner identification or occupant identification sign, and one for rent, warning or trespass sign in the Residential Zone which shall not exceed two (2) square feet per side.
- G. Warning signs for nonresidential uses ~~in commercial and light industrial zones~~, such as
- 715 "no parking", and directional signs, such as "entrance", not to exceed two (2) square feet per side.
- H. Promotional Temporary signs including, but not limited to, portable A-frame sidewalk signs, banners or pennants announcing daily or promotional information ~~for special sales for businesses for profit~~ for nonresidential uses. ~~Temporary~~ Promotional signs shall be
- 720 removed immediately at the conclusion of the associated event and may be displayed on the outside of the primary business building or in the on site window area or off site in the ITD or City right-of-way/sidewalk area, provided an encroachment permit has been approved for placement of signage in the right-of-way. ~~Temporary business signage depicting the name of the business may be permitted for a period not to exceed thirty (30)~~
- 725 ~~days unless approved by the Administrator for a longer period, provided permanent signage order documents are provided where installation has not been done due to~~

~~signage components not available to be installed. Temporary~~ Promotional signage shall not exceed twenty (20) square feet at any one time for any parcel.

I. ~~Temporary s~~ Signs, banners, or pennants announcing community events and conventions, which shall be removed immediately at the conclusion of the event.

J. Murals.

K. Signs for charitable, service and other nonprofit organizations. Signs shall not be more than four (4) square feet per side.

L. The Veteran's Memorial sign and the Coca Cola sign on the Odd Fellows building on Main Street, which are hereby declared historical landmarks, and any such other signs so declared by resolution of the Council to be such landmarks.

M. All City signage.

N. Clocks

SECTION 10

Title 11, Chapter 6: Lot Line Adjustments of the Bellevue City Code is hereby amended as follows:

CHAPTER 6: LOT LINE ADJUSTMENTS

11-6-1: PROCEDURE

~~An owner or subdivider wishing to readjust lot lines, as defined in section 11-2-1 of this title, shall be required to file two (2) copies of a plat and application with the Administrator for administrative review. Additional information reasonably required for thorough review of the application and plat may be required by the Administrator to be provided by the applicant. Waivers shall be requested according to chapter 13 of this title. The Council shall remand any application and/or waiver request to the commission for recommendation prior to taking final action. The Administrator shall provide written notice of said application to owners of property immediately adjacent to the subject property. Said notice shall inform adjacent property owners they may comment on the application during a period of not less than ten (10) days after mailing of the notice and prior to final action on said application. Following expiration of the said comment period and upon a finding by the Administrator that the plat conforms to the readjustment of lot line definition and is in compliance with the provisions of this title, the Administrator shall approve same or approve with conditions necessary to find same in compliance with the provisions of this title. Upon a finding by the Administrator that the application does not conform to said definition or is not in compliance with this title, the~~

760 ~~Administrator shall deny the application and shall state the reasons therefor in writing, and a~~
~~copy signed by the Administrator, attached to one copy of the plat, shall be returned to the~~
~~applicant. Upon Council approval of an application and upon satisfaction by the applicant of any~~
~~conditions attached thereto, the Administrator shall inform the City Clerk and the City Clerk~~
~~shall sign the plat. Any questions with regard to the interpretation and/or applicability of this~~
 765 ~~section or other sections shall be referred to the Council by the Administrator for determination.~~

A. Eligibility:

An owner may readjust lot lines through the process identified herein, provided that the following criteria are met:

- 770 1. The readjustment of lot lines will not result in any reduction in lot area, frontage, width, depth, building setback lines, or applicable dimensional standards below the minimum requirements for the zone(s) involved.
2. No additional parcels will be created through the readjustment.
3. The readjustment does not impair existing access or easements or create the need for new easements or access to any adjacent lots.
- 775 4. The readjustment does not create or exacerbate any violations of this Title or Title 10 of this Code.
5. The subject property does not include any floodplain or slopes greater than 25%.

B. Application:

The owner shall submit the following:

- 780 1. A completed Lot Line Readjustment Application as provided by the Administrator
2. A title report for the affected property
3. A preliminary record of survey drawn to scale, prepared by a professional land surveyor licensed to operate in Idaho showing the following:
 - a. All existing and proposed boundaries of the affected lots with dimensions.
 - 785 b. All existing structures with dimensions and distances to existing and proposed boundaries.
 - c. Existing utilities to the affected lots.
 - d. Existing and proposed street frontages and accesses of the affected lots.
4. Application fees as determined by resolution.

790 C. Procedure:

1. Upon the receipt of a complete application and a determination that the application is eligible for a lot line readjustment, the Council shall review the Lot Line Adjustment on the New Business portion of a meeting agenda for compliance with the applicable

795 standards of this Code. Should the Council vote to approve the application, the Mayor shall affix their signature to the face of the record of survey.

SECTION 11

Title 11, Chapter 13: Waivers and Appeals of the Bellevue City Code is hereby amended as follows:

CHAPTER 13: WAIVERS AND APPEALS

11-13-1: WAIVERS:

A. Commission Recommendation; Council Approval: Waiver of any of the requirements of this title may be granted by the Council on a case basis upon the recommendation of the commission.

805 B. Application For Waiver:

1. Application for such waiver(s) must be in writing and must show that there are special physical characteristics or conditions affecting the property in question where a literal enforcement of this title would result in undue hardship not the result of actions by the subdivider, and that the waiver would not be detrimental to the public welfare, health, and safety, nor injurious to the property owners in the immediate area.
- 810 2. Applications shall be made to the Administrator in writing at the time of subdivision application. Said waiver, together with such related data and maps as are necessary to fully illustrate the relief sought, shall be filed at the same time. Such application shall be processed and considered ~~with the preliminary plat application~~ concurrently with the preliminary plat or lot line adjustment application. Hearings before the commission and
- 815 Council shall be noticed as a public hearing.

11-13-2: APPEALS:

Any interested party may appeal in writing the decision of the commission, Administrator, or building inspector relative to any matter(s) with regard to this title. Said appeal shall be filed in writing with the City Clerk within fifteen (15) days from the date of the decision. The appeal shall state the exact decision or recommendation appealed and the reasons therefor. If no appeal is filed within fifteen (15) days as herein provided, the decision shall be final. Appeals shall be heard in accordance with Section 10-3-3 of this Code.

SECTION 12

825 Title 12, Chapter 4: Administration of the Bellevue City Code is hereby amended as follows:

CHAPTER 4: ADMINISTRATION

12-4-1: DESIGNATION OF FLOODPLAIN ORDINANCE ADMINISTRATOR:

830 The Community Development Director hereinafter referred to as the "Floodplain Administrator",
is hereby appointed to administer and implement the provisions of this title.

SECTION 13

Title 12, Chapter 5: Provisions for Flood Hazard Reduction of the Bellevue City Code is hereby
amended as follows:

CHAPTER 4: PROVISIONS FOR FLOOD HAZARD REDUCTION

12-5-2: SPECIFIC STANDARDS:

840 In all Special Flood Hazard Areas where Base Flood Elevation (BFE) data has been provided, as
set forth in sections 12-3-2 or 12-5-4 , the following provisions, in addition to the provisions of
section 12-5-1 , are required:

A. Residential Construction: New construction, substantial improvements, and development
of any residential structure (including manufactured homes) shall have the lowest floor,
including basement, elevated no lower than the Flood Protection Elevation, as defined in section
12-2-1 of this title.

845 B. Non-Residential Construction: New construction, substantial improvements, and
development of any commercial, industrial, or other non-residential structure shall have the
lowest floor, including basement, elevated no lower than the Flood Protection Elevation, as
defined in section 12-2-1 of this title. Structures located in Zones A, AE, AH, AO, and A1-30
850 may be floodproofed to the Flood Protection Elevation in lieu of elevation provided that all areas
of the structure, together with attendant utility and sanitary facilities, below the Flood Protection
Elevation are watertight with walls substantially impermeable to the passage of water, using
structural components having the capability of resisting hydrostatic and hydrodynamic loads and
the effect of buoyancy. For AH and AO Zones, the floodproofing elevation shall be in
accordance with subsection 12-5-6 B. A registered professional engineer or architect shall certify
855 that the floodproofing standards of this subsection are satisfied. Such certification shall be
provided to the Floodplain Administrator as set forth in subsection 12-4-3 C, along with the
operational plan and the inspection and maintenance plan.

C. Manufactured Homes:

860 1. New and replacement manufactured homes shall be elevated so that the lowest floor of
the manufactured home is no lower than the Flood Protection Elevation, as defined in section 12-
2-1 of this title.

2. Manufactured homes shall be securely anchored to an adequately anchored foundation to resist flotation, collapse, and lateral movement, either by certified engineered foundation system, or in accordance with the most current edition of the Idaho Division of Building Safety's "Idaho Manufactured Home Installation Standard" in accordance with Idaho Code section 44-2201(2). Additionally, when the elevation would be met by an elevation of the chassis thirty-six inches (36") or less above the grade at the site, the chassis shall be supported by reinforced piers or engineered foundation. When the elevation of the chassis is above thirty-six inches (36") in height, an engineering certification is required.

3. All enclosures or skirting below the lowest floor shall meet the requirements of subsection D.

4. An evacuation plan must be developed for evacuation of all residents of all new, substantially improved, or substantially damaged manufactured home parks or subdivisions located within flood prone areas. This plan shall be filed with and approved by the Floodplain Administrator and the local Emergency Management Coordinator.

D. Additions/Improvements:

1. Additions and/or improvements to pre-FIRM structures when the addition and/or improvements in combination with any interior modifications to the existing structure are:

a. Not a substantial improvement, the addition and/or improvements must be designed to minimize flood damages and must not be any more non-conforming than the existing structure; or

b. A substantial improvement, both the existing structure and the addition and/or improvements must comply with the standards for new construction.

2. Additions to post-FIRM structures that are a substantial improvement with no modifications to the existing structure other than a standard door in the common wall shall require only the addition to comply with the standards for new construction.

3. Additions and/or improvements to post-FIRM structures when the addition and/or improvements in combination with any interior modifications to the existing structure are:

a. Not a substantial improvement, the addition and/or improvements only must comply with the standards for new construction; or

b. A substantial improvement, both the existing structure and the addition and/or improvements must comply with the standards for new construction.

4. Any combination of repair, reconstruction, rehabilitation, addition, or improvement of a building or structure taking place during a ~~(insert number of years)~~ five (5) year period, the cumulative cost of which equals or exceeds fifty percent (50%) of the market value of the structure before the improvement or repair is started, must comply with the standards for new construction. For each building or structure, the ~~(insert number of years)~~ five (5) year period begins on the date of the first improvement or repair of that building or structure subsequent to the effective date of this title. If the structure has sustained substantial damage, any repairs are considered substantial improvement regardless of the actual repair work performed. The requirement does not, however, include either:

SECTION 14: EFFECTIVE DATE:

This Ordinance shall be in full force and effect from and after its passage and publication as required by law.

905

PASSED AND APPROVED by the CITY OF BELLEVUE, IDAHO this _____ day of _____ 2025.

910

Christina Giordani, Mayor

ATTEST:

915

Amy Phelps, City Clerk

CITY OF BELLEVUE, IDAHO
SUMMARY OF ORDINANCE NO. 2026-_____

AN ORDINANCE OF THE CITY OF BELLEVUE, IDAHO, AMENDING BELLEVUE'S CITY CODE BY AMENDING TITLE 10, ZONING REGULATIONS, CHAPTERS 2, 3, 6, 7, 8, 9, 14, AND 22A, TITLE 11, SUBDIVISION REGULATIONS, CHAPTERS 6 AND 13, AND TITLE 12, FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTERS 4 AND 5 TO IMPROVE CLARITY AND ACCURACY; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

The City of Bellevue has adopted Ordinance 2026-_____, amending Title 10 Chapters 2, 3, 6, 7, 8, 9, 14, and 22a, Title 11 Chapters 6 and 13, and Title 12 Chapters 4 and 5 of Bellevue City Code to improve clarity, correct errors, and improve enforceability. The ordinance is effective upon passage on February 9, 2025.

The complete ordinance is available at Bellevue City Hall at 115 East Pine Street, Bellevue, Idaho 83313.

The undersigned City of Bellevue City Attorney, having reviewed the subject ordinance and ordinance summary, have determined that the summary is true and complete and that it provides adequate notice to the public of the identity and principal provisions of the ordinance.

Frederick Allington, City Attorney